



GREEN LAKE COUNTY

571 County Road A, Green Lake, WI 54941

The following documents are included in the packet for the Land Use Planning & Zoning Committee meeting on Thursday, June 5, 2025.

Packet Pages:

- 2 Agenda
- 3-4 Draft Meeting Minutes from 5/1/25
- 5-6 Register of Deeds Report
- 7-8 Financial Reports for April 2025
- 9-12 Land Use & Sanitary Reports for April 2025
- 13-14 Violation Status Reports
- 15 Notice of Budgetary Adjustment
- 16-46 Proposed Zoning Ordinance Amendments – A1, A2, R4, and Word Usage & Definitions
- 47 Public Hearing Notice
- 48-65 **Item #1: Owner:** Rory's Powersports, LLC., **Agent:** James Silloway, **Location:** W780 State Road 23 and 49, **Parcel:** 004-00280-0401, **Legal Description:** Lot 1 of CSM 3995, located in Section 14, T16N, R13E, Town of Brooklyn, ±2.8 acres. **Request:** The owners are requesting a Conditional Use Permit for a commercial building to be utilized for the storage, sales, and repair of wave runners.
- 66-78 **Item #2: Owner(s):** Mark & Kim Nowacki and Timothy Lind, **Location:** W270 White Ridge Road, **Parcel(s):** 002-00204-0200 & 002-00204-0300, **Legal Description:** SW ¼ of SE ¼, located in Section 12, T17N, R13E, Town of Berlin, ±21.469 acres, **Request:** The owners are requesting a rezone of ±3.022 acres zoned A2, General Agriculture District, to R4, Rural Residential District and a rezone of ±1.0 acres zoned A1, Farmland Preservation District, to A2, General Agriculture District. To be identified by Certified Survey Map.
- 79-92 **Item #3: Owner:** David W. Schmucker, **Location:** N844 Proscarian Road, **Parcel(s):** 012-00518-0000 & 012-00519-0000, **Legal Description:** NW ¼ of NW ¼, located in Section 27, T14N, R12E, Town of Manchester, ±35.28 acres, **Request:** The owners are requesting a Conditional Use Permit for a non-agriculture related business.
- 93-111 **Item #4: Owner:** MNJ Development, LLC., **Agent:** Michael Monohan, **Location:** Eastridge Drive, **Parcel:** 002-00855-0000, **Legal Description:** SW ¼ of SW ¼, located in Section 2, T17N, R13E, Town of Berlin, ±1.68 acres, **Request:** The owners are requesting a Conditional Use Permit for a 17-Unit Storage Building.

If you have questions or need additional information,
Please contact the Land Use Planning & Zoning Department at (920) 294-4156



GREEN LAKE COUNTY
LAND USE PLANNING & ZONING DEPARTMENT

Matt Kirkman
Director

Office: 920-294-4156
FAX: 920-294-4198

Land Use Planning & Zoning Committee Meeting Notice

Date: Thursday, June 5, 2025, Time: 9:00 AM
Green Lake County Government Center, County Board Room
571 County Rd A, Green Lake WI

*Amended*AGENDA

Committee
Members

Chuck Buss-chair
Bill Boutwell-vice chair
Curt Talma
Gene Thom
Sue Wendt

Secretary: Karissa Rohde

Virtual attendance at meetings is optional. If technical difficulties arise, there may be instances when remote access may be compromised. If there is a quorum attending in person, the meeting will proceed as scheduled.

This agenda gives notice of a meeting of the Land Use Planning and Zoning Committee. It is possible that individual members of other governing bodies of Green Lake County government may attend this meeting for informative purposes. Members of the Green Lake County Board of Supervisors or its committees may be present for informative purposes but will not take any formal action. A majority or a negative quorum of the members of the Green Lake County Board of Supervisors and/or any of its committees may be present at this meeting. See State ex rel. Badke v. Vill. Bd. of Vill. of Greendale, 173 Wis.2d 553, 578, 494 N.W. 2d 408 (1993).

1. Call to Order
 2. Certification of Open Meeting Law
 3. Pledge of Allegiance
 4. Minutes of 5/1/2025
 5. Register of Deeds Report
 6. Department Activity Reports
 - a) Financial Reports
 - b) Land Use & Septic permits
 - c) Violation reports
 7. *Department Staffing Update*
 8. Notice of Budgetary Adjustment
 9. Proposed Zoning Ordinance Amendment including changes to the A1, A2, R4 Zoning Districts and Word Usage & Definitions
 10. Farmland Preservation Plan Subcommittee Update
 11. *Public Appearance: Attorney Luke Dretske – Accessory Building Ordinance*
 12. Public Comment (3-minute limit)
 13. Public Hearing: (Not to begin before 9:30 AM)
- Each item below will consist of:
- a) Public Testimony/Comment: 3-minute time limit
 - b) Committee Discussion & Deliberation
 - c) Committee Decision
 - d) Execute Ordinance/Determination Form

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Item #3: Owner: David W. Schmucker, **Location:** N844 Proscarian Road, **Parcel(s):** 012-00518-0000 & 012-00519-0000, **Legal Description:** NW ¼ of NW ¼, located in Section 27, T14N, R12E, Town of Manchester, ±35.28 acres, **Request:** The owners are requesting a Conditional Use Permit for a non-agriculture related business.

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14. Committee Discussion
 - a) Future Meeting Dates: August 7, 2025 @ 9:00am
 - b) Future Agenda items for action & discussion
 - c) No Meeting in July
15. Adjourn

Microsoft Teams meeting: This meeting will be conducted through in person attendance or audio/visual communication. Remote access can be obtained through the Microsoft Teams link on the agenda posted on the County website’s Events Calendar:

Microsoft Teams meeting
Join on your computer, mobile app or room device
[Click here to join the meeting](#)
Meeting ID: 296 349 313 972
Passcode: 9VUWqS
[Download Teams](#) | [Join on the web](#)
Or call in (audio only)
[+1 920-515-0745,516863131#](#) United States, Green Bay
Phone Conference ID: 516 863 131#
[Find a local number](#) | [Reset PIN](#)
Please accept at your earliest convenience. Thank you!
[Learn More](#) | [Help](#) | [Meeting options](#) | [Legal](#)

Please note: Meeting area is accessible to the physically disabled. Anyone planning to attend who needs visual or audio assistance, should contact the County Clerk’s Office, 294-4005, not later than 3 days before date of the meeting.
Green Lake County is an Equal Employment Opportunity Employer-571 County Road A, Green Lake, WI 54941 [www.greenlakecountywi.gov](#)

**GREEN LAKE COUNTY
LAND USE PLANNING AND ZONING
COMMITTEE MEETING MINUTES
Thursday, May 1, 2025**

CALL TO ORDER

Planning & Zoning Chair Chuck Buss called the meeting of the Land Use Planning and Zoning Committee to order at 9:00AM in the Green Lake County Government Center, County Board Room #0902, Green Lake, WI. The requirements of the open meeting law were certified as being met. Public access was available via remote programming as well as in person. The Pledge of Allegiance was recited.

Present: **Chuck Buss, Gene Thom, Sue Wendt, Bill Boutwell, Curt Talma**

Also Present: **Liz Otto**, County Clerk; **Matt Kirkman**, Land Use Planning & Zoning Director; **Tami Toth**, Legal Assistant (Remote); **Jeff Mann**, Corporation Counsel; **Jason Jerome**, Interim County Administrator

APPROVAL OF MINUTES

Motion/second (Boutwell/Wendt) to approve the minutes of the 04/03/2025 meeting. Motion carried with no negative vote.

DEPARTMENT ACTIVITY REPORTS

- Financial Reports
- Land Use & Septic Permits
- Violation Reports

Land Use Planning & Zoning Director Matt Kirkman provided updates to the financial reports for the first quarter of 2025, land use and septic permits, and current violations. Corporation Counsel Jeff Mann gave an in depth update on the Peterson case.

FARMLAND PRESERVATION PLAN SUBCOMMITTEE UPDATE

Land Use Planning & Zoning Director Matt Kirkman updated the committee on suggestions made by the subcommittee. He stated that this may be complete by the end of this year – the required completion date is 12/31/2026.

PUBLIC COMMENT (3 minute limit) - none

PUBLIC HEARING – NOT TO BEGIN BEFORE 9:30AM

Chair Buss read the rules of the Public Hearing

Item #1: Owner: S&L Holdings WI, LLC, Agent: Lee Garro, **Location:** Highway 23 & 49, **Parcel:** 004-00314-0201. **Legal Description:** Lot 1 of CSM 3979, located in Section 15, T16N, R13E, Town of Brooklyn, ±3.88 acres. **Request:** CUP review and possible revocation in accordance with Section 350-57 of the Green Lake County Zoning Ordinance.

Planning & Zoning Director Matt Kirkman read Item #1. Chair Buss asked for public comment.

Lee Garro spoke objecting to the revocation and his reasons for the objection. Chair Buss closed Public Comment.

Matt Kirkman read the staff report. Corporation Counsel advised the committee that consideration should only be given to the CUP Items #1, #2, and #10:

- **#1 - NO ADDITIONAL EXPANSION OR ADDITION OF STRUCTURES AND/OR USES RELATING TO THIS CONDITIONAL USE PERMIT SHALL OCCUR WITHOUT REVIEW AND APPROVAL THROUGH FUTURE CONDITIONAL USE PERMIT(S).**
- **#2 - NO OUTSIDE STORAGE OF MATERIALS AND OTHER ITEMS IS ALLOWED.**
- **#10. ALL ITEMS /MATERIALS SHALL BE STORED WITHIN THE BUILDING(S) AUTHORIZED UNDER THIS CUP APPLICATION.**

Motion/second (Boutwell/Thom) to suspend the rules and allow Lee Garro to speak further. Motion carried. Garro stated the logs in question are still on the property and explained his storage process. Discussion held including the reapplication process.

Motion/second (Boutwell/Buss) to revoke the CUP as written for violations of items #1, #2, and #10. Vote on motion to revoke – Ayes – 4, Nays – 1 (Thom). Motion carried.

COMMITTEE DISCUSSION

- a. Next meeting date – June 5, 2025 @ 9:00AM
- b. Future agenda items for action & discussion
- c. 3 CUPs and 1 rezone in June

ADJOURN

Chair Buss adjourned the meeting at 10:00 am.

Respectfully submitted,

Liz Otto
County Clerk

REGISTER OF DEEDS OFFICE

2025 FIRST QUARTER REPORT

Submitted by Renee A. Thiem-Korth _____

2025

				GROSS REVENUE	COUNTY REVENUE
WISCONSIN REAL ESTATE TRANSFER FEES				\$89,437.50	
County Share	20%	\$17,887.50			\$17,887.50
WDOR Share	80%	\$71,550.00			
RECORDINGS					
Real Estate	747	7 TPP @ \$25 each		\$22,410.00	\$11,205.00
County Land Records Fees	\$8 fee	\$5,976.00			\$275.00
State Land Records Fees	\$7 fee	\$5,229.00			
County ROD Recording Fees	\$15 fee	\$11,205.00			
VITAL STATISTICS					
Births Certs - 1st Copy \$5	96				
Add'l Certified copies \$3	55			\$2,085.00	\$645.00
Fees Rmtd to State-Trust Fund \$7	\$672.00				
Fees Remitted to State \$8	\$768.00				
Deaths Certs - 1st Copy \$7	142				
Add'l Certified copies \$3	1,339				
Fees Remitted to State \$13	\$1,846.00			\$6,857.00	\$5,011.00
Marriages Certs - 1st Copy \$7	33				
Add'l Certified copies \$3	67				
Fees Remitted to State \$13	\$429.00			\$861.00	\$432.00
Divorce Certs - 1st Copy \$7	2				
Add'l Certified copies \$3	0				
Fees Remitted to State \$13	\$26.00			\$40.00	\$14.00
Official Records Online \$2.50	16			\$40.00	\$40.00
TAPESTRY/MONARCH REVENUE				\$2,759.40	\$2,759.40
LAREDO COPY FEE				\$2,941.00	\$2,941.00
LAREDO REVENUE				\$9,452.95	\$9,452.95
COPIES				\$489.50	\$489.50
MISC. INCOME				\$0.00	\$0.00
TOTAL GROSS REVENUE				\$137,373.35	
TOTAL COUNTY REVENUE					\$51,152.35

REGISTER OF DEEDS OFFICE

2024 FIRST QUARTER REPORT

Submitted by Renee A. Thiem-Korth

2024

				GROSS REVENUE	COUNTY REVENUE
WISCONSIN REAL ESTATE TRANSFER FEES				\$90,231.12	
County Share	20%	\$18,046.22			\$18,046.22
WDOR Share	80%	\$72,184.90			
RECORDINGS					
Real Estate	750			\$22,500.00	\$11,250.00
County Land Records Fees	\$8 fee	\$6,000.00			
State Land Records Fees	\$7 fee	\$5,250.00			
County ROD Recording Fees	\$15 fee	\$11,250.00			
VITAL STATISTICS					
Births Certs - 1st Copy \$5	84				
Add'l Certified copies \$3	94			\$1,962.00	\$702.00
Fees Rmtd to State-Trust Fund \$7	\$588.00				
Fees Remitted to State \$8	\$672.00				
Deaths Certs - 1st Copy \$7	130				
Add'l Certified copies \$3	1,219				
Fees Remitted to State \$13	\$1,690.00			\$6,257.00	\$4,567.00
Marriages Certs - 1st Copy \$7	36				
Add'l Certified copies \$3	44				
Fees Remitted to State \$13	\$468.00			\$852.00	\$384.00
Divorce Certs - 1st Copy \$7	2				
Add'l Certified copies \$3	2				
Fees Remitted to State \$13	\$26.00			\$46.00	\$20.00
Official Records Online \$2.50	17			\$42.50	\$42.50
TAPESTRY/MONARCH REVENUE				\$2,691.15	\$2,691.15
LAREDO COPY FEE				\$2,984.50	\$2,984.50
LAREDO REVENUE				\$9,904.12	\$9,904.12
COPIES				\$595.75	\$595.75
MISC. INCOME				\$0.00	\$0.00
TOTAL GROSS REVENUE				\$138,066.14	
TOTAL COUNTY REVENUE					\$51,187.24

**GREEN LAKE COUNTY
LAND USE PLANNING ZONING DEPARTMENT**

FEES RECEIVED	APRIL				YEAR-TO-DATE				BUDGET	
	2024		2025		2024		2025		2025	
	NO.	AMOUNT	NO.	AMOUNT	NO.	AMOUNT	NO.	AMOUNT		
LAND USE PERMITS										
Total Monthly Issued Permits	23	4,100	27	10,950	63	14,150	59	\$ 21,250	\$ 60,000	35%
SANITARY PERMITS (POWTS)										
Total Monthly Issued Permits	2	355	6	2,185	13	3,280	11	\$ 4,015	\$ 26,000	15%
NON-METALLIC MINING PERMITS										
Annual Permit Fees	-	-	-	\$ -	12	12,500	11	\$ 16,300	\$ 15,200	107%
BOARD OF ADJUSTMENT										
Special Exception	-	-	-	-	-	-	-	-	-	
Variances	-	-	-	-	1	375	-	-	-	
Appeals	-	-	-	-	-	-	-	-	-	
Total	-	\$ -	-	\$ -	1	\$ 375	-	\$ -	\$ 1,500	0%
PLANNING & ZONING COMMITTEE										
Zoning Change	3	1,125	-	-	9	3,375	2	750	-	
Conditional Use Permits	2	750	-	-	8	3,000	5	1,875	-	
Variance	1	450	-	-	1	450	-	-	-	
Total	6	\$ 2,325	-	\$ -	18	\$ 6,825	7	\$ 2,625	\$ 8,525	31%
MISC.										
Wisconsin Fund	-	-	-	-	-	-	-	-	-	
Fines & Forfeitures	-	-	-	-	3	800	7	1,450	-	
Total	-	\$ -	-	\$ -	3	\$ 800	7	\$ 1,450	-	
SURVEYOR										
Certified Survey Maps	-	-	2	360	8	1,425	6	1,050	6,500	
Preliminary and Final Plats	-	-	-	-	-	-	-	-	-	
Total	-	\$ -	2	\$ 360	8	\$ 1,425	6	\$ 1,050	\$ 6,500	16%
GIS (Geographic Information System)										
Map Sales	-	-	-	-	-	-	-	-	-	
Land Records Transfer	-	-	-	-	-	-	-	-	25,000	
Land Information Grant	-	-	-	-	-	-	-	-	10,000	
Total	-	\$ -	-	\$ -	-	\$ -	-	\$ -	\$ 35,000	0%
GRAND TOTAL										
									Total	31%

Expenditure Summary

Land Use & Zoning Month End Expenses

GREEN LAKE COUNTY

Report Description: MEE100-10-P&Z

Account Year: 25

Account Periods: 04 - 04

Dates: 04/01/2025 - 04/30/2025

Account Account Description	Original Budget	Adjusted Budget	YTD Encumbrance	Period Expended	YTD Expended	Available Balance	Percent Used
10 Land Use Planning and Zoning							
53610 Code Enforcement							
25-100-10-53610-110-000 Salaries	0.00	328,660.80	0.00	25,726.40	87,419.58	241,241.22	26.60
25-100-10-53610-125-000 Overtime	0.00	0.00	0.00	0.00	33.58	-33.58	0.00
25-100-10-53610-140-000 Meeting Payments	0.00	951.00	0.00	0.00	0.00	951.00	0.00
25-100-10-53610-151-000 Social Security	0.00	25,145.00	0.00	1,848.42	7,366.22	17,778.78	29.29
25-100-10-53610-153-000 Ret. Employer Share	0.00	22,679.00	0.00	1,788.00	7,128.17	15,550.83	31.43
25-100-10-53610-154-000 Health Insurance	0.00	77,549.28	0.00	7,253.36	29,013.44	48,535.84	37.41
25-100-10-53610-155-000 Life Insurance	0.00	569.16	0.00	47.43	189.72	379.44	33.33
25-100-10-53610-210-002 Professional Services	0.00	14,250.00	0.00	0.00	1,525.00	12,725.00	10.70
25-100-10-53610-218-000 VIOLATION NOTICE SERVICE	0.00	300.00	0.00	0.00	0.00	300.00	0.00
25-100-10-53610-225-000 Phone Service	0.00	800.00	0.00	50.69	198.02	601.98	24.75
25-100-10-53610-242-000 Print Management	0.00	300.00	0.00	60.52	69.89	230.11	23.30
25-100-10-53610-307-000 Training	0.00	1,160.00	0.00	0.00	0.00	1,160.00	0.00
25-100-10-53610-310-000 Office Supplies	0.00	950.00	0.00	11.10	166.25	783.75	17.50
25-100-10-53610-312-000 Field Supplies	0.00	150.00	0.00	0.00	0.00	150.00	0.00
25-100-10-53610-312-001 Non-Metallic Mining Expense	0.00	26,000.00	0.00	0.00	0.00	26,000.00	0.00
25-100-10-53610-320-000 Publications-BOA Public Hearing	0.00	850.00	0.00	0.00	0.00	850.00	0.00
25-100-10-53610-320-001 Publications-PZ Public Hearing	0.00	3,000.00	0.00	255.00	995.00	2,005.00	33.17
25-100-10-53610-321-000 Seminars	0.00	1,200.00	0.00	0.00	600.00	600.00	50.00
25-100-10-53610-324-000 Member Dues	0.00	130.00	0.00	0.00	130.00	0.00	100.00
25-100-10-53610-330-000 Travel	0.00	1,170.00	0.00	0.00	0.00	1,170.00	0.00
25-100-10-53610-352-000 Vehicle Maintenance	0.00	850.00	0.00	34.89	415.64	434.36	48.90
53610 Code Enforcement	\$0.00	\$506,664.24	\$0.00	\$37,075.81	\$135,250.51	\$371,413.73	26.69
10 Land Use Planning and Zoning	\$0.00	\$506,664.24	\$0.00	\$37,075.81	\$135,250.51	\$371,413.73	26.69

Land Use Permits: 4/1/2025 - 4/30/2025

Town of Berlin

Permit Number	Site Address	Issued Date	Owner Name	Estimated Cost	Project_1 Type/SubType	Project_1 Description	Project_2 Type/SubType	Project_2 Description
13892	W2401 COUNTY ROAD F	04/03/2025	DONALDC DROVER, MARYC DROVER	29000	Accessory Structure - Agricultural Building	Metal Morton shed with concrete slab		
13934	N8089 COUNTY ROAD A	04/29/2025	NORA GROSSER, TIMOTHYC SYTH	580000	Principal Structure - Multi Family	Duplex consisting of one main residence, one guest residence, and an attached garage. 5 bedrooms.	Accessory Structure - Shed	Tool shed for building the house. Added to permit after it was issued, but on the same day as the permit was issued.
13936	W715 KLONDIKE RD	04/25/2025	EMILY BURNS, JORDAN SCHULZ	8000	Additions / Alterations - Addition/Alteration to Accessory Structure	Addition to the existing garage. Being built on existing concrete slab		

Town of Brooklyn

Permit Number	Site Address	Issued Date	Owner Name	Estimated Cost	Project_1 Type/SubType	Project_1 Description	Project_2 Type/SubType	Project_2 Description
13865	N6200 BUSSE DR	04/03/2025	EGBERT EXCAVATING INC	0			Land Disturbing Activity - Blacktopping/Parking Lots	Contractors yard
13888	W2351 BUCK RUN	04/11/2025	ANNAM GOODFELLOW, JAMESR GOODFELLOW SR REVOCABLE TRUST	610000	Accessory Structure - Attached Deck/Patio	Patio	Accessory Structure - Porch	Screen porch
13913	W2352 BUCK RUN	04/04/2025	MELANIEA ELLIS, NATHANO MIRR	660000	Accessory Structure - Porch	Covered Porch	Accessory Structure - Porch	Screen Porch
13929	W1753 NORTH ST	04/21/2025	JEFF A & PAMELA D NOVAK	45000	Additions / Alterations - Addition/Alteration to Accessory Structure	Garage addition	Additions / Alterations - Addition/Alteration to Principal Structure	New Deck attached to house
13930	W706 STATE ROAD 23 AND 49	04/22/2025	CHARLES W & LYNN D MIRR REVOCABLE TRUST	325000	Principal Structure - Single Family	2 bedroom ranch style house.		
13937	W2109 IRVING PARK RD	04/25/2025	BRADLEYD CHAPIN, MARYS CHAPIN	30000	Accessory Structure - Fence	Fence around pickleball court	Accessory Structure - Accessory Structure	Pickleball court

Town of Green Lake

Permit Number	Site Address	Issued Date	Owner Name	Estimated Cost	Project_1 Type/SubType	Project_1 Description	Project_2 Type/SubType	Project_2 Description
13885	N5051 COUNTY ROAD A	04/03/2025	MARGARETM RENS, MASON RENS	870000	Accessory Structure - Attached Garage	2 car garage	Principal Structure - Single Family	4 bedroom Single family home with basement.
13890	W2088 TULETA HILL RD	04/11/2025	JAMES E & JANET E DAVIS LIVING TRUST	1282431	Accessory Structure - Detached Deck/Patio	Patio near lake replacement	Accessory Structure - Retaining Walls	Wing Wall
13914	W1179 SPRING GROVE RD	04/04/2025	DANIELV PACETTI, JULIEA PACETTI	5000	Accessory Structure - Attached Deck/Patio	Attached deck replacement and small addition to the deck.	Accessory Structure - Attached Deck/Patio	Replace existing deck/porch in front of house
13915	W1010 SPRING GROVE RD	04/07/2025	WISCONSIN CONFERENCE OF THE UNTIED CHURCH OF CHRIST INC	5000	Accessory Structure - Attached Deck/Patio	Deck		
13920	W2428 OAKWOOD AVE	04/16/2025	BB20 LLC	250000	Accessory Structure - Boathouse	Boathouse with 10 foot sidewalls	Land Disturbing Activity - Grading	Removal of IMS to cover Boathouse
13921	W2284 OAKWOOD AVE	04/16/2025	GREGORYH NOETHLICH, RONNICAV NOETHLICH	1160000	Accessory Structure - Stairs/Walkway	South Flagstone Walkway	Accessory Structure - Stairs/Walkway	South Walkway
13922	N4049 COUNTY ROAD N	04/11/2025	GARY S & JULIA S BLANEY	32000	Accessory Structure - Detached Garage	Detached Garage	Accessory Structure - Accessory Structure	Personal Workshop
13924	N2755 WELK RD	04/11/2025	ALANS DATKA	5000	Accessory Structure - Attached Deck/Patio	Attached Deck		
13925	W1450 SPRING GROVE RD	04/14/2025	ARTHURC KRUG, LORI KRUG	100000	Accessory Structure - Stairs/Walkway	Stone Stairs 2	Accessory Structure - Detached Deck/Patio	Upper Patio
13926	W2596 OAKWOOD BEACH RD	04/16/2025	MATTHEW WHITE	85000	Land Disturbing Activity - Filling	Filling and Grading after House tear down		
13927	W326 CENTER RD	04/17/2025	DAVIDD WILKE	470000	Accessory Structure - Agricultural Building	60 x 250 ft agricultural building for storage of farm equipment. Gravel floor.	Land Disturbing Activity - Grading	Moving of materials to construct the agricultural building.
13933	N3136 LAKE SHORE DR	04/23/2025	BARBARAJO KISSINGER, JAMESJACOB KISSINGER	2000	Accessory Structure - Shed	Garden Shed		

13935	N4145 LAKEVIEW RD	04/24/2025	BEUTHIN FAMILY RECREATIONAL TR	20000	Principal Structure - Single Family	Conversion of shed under permit 13641 into a single family dwelling. 1 bedroom	Accessory Structure - Shed	Small shed by the barn.
13939	W1112 SPRING GROVE RD	04/28/2025	JESSICAN ROYKO, STEPHENZ ROYKO	100000	Accessory Structure - Detached Garage	Replacement of Nonconforming Garage	Accessory Structure - Porch	Screen Porch
13942	W2298 OAKWOOD AVE	04/30/2025	RICHARD L VERKLER REVOCABLE TRUST	22000	Accessory Structure - Retaining Walls	3 Stepped Retaining Walls		
13943	No Address Available	04/30/2025	GREEN LAKE COUNTY	157000	Accessory Structure - Accessory Structure	Carp Barrier		

Town of Kingston

Permit Number	Site Address	Issued Date	Owner Name	Estimated Cost	Project_1 Type/SubType	Project_1 Description	Project_2 Type/SubType	Project_2 Description
NONE								

Town of Mackford

Permit Number	Site Address	Issued Date	Owner Name	Estimated Cost	Project_1 Type/SubType	Project_1 Description	Project_2 Type/SubType	Project_2 Description
None								

Town of Manchester

Permit Number	Site Address	Issued Date	Owner Name	Estimated Cost	Project_1 Type/SubType	Project_1 Description	Project_2 Type/SubType	Project_2 Description
13879	W2938 CARTER RD	04/10/2025	LONNIE MILLER	205000	Additions / Alterations - Addition/Alteration to Principal Structure	Addition to existing house. Will have basement/crawlspace, main floor, and smaller second story. 3 bedrooms added in addition.		
13911	W3770 STATE ROAD 44	04/01/2025	DELMARF BONTRAGER, NAOMIW BONTRAGER	35000	Accessory Structure - Agricultural Building	Barn and tool shed building. 28 x 44 ft		

Town of Marquette

Permit Number	Site Address	Issued Date	Owner Name	Estimated Cost	Project_1 Type/SubType	Project_1 Description	Project_2 Type/SubType	Project_2 Description
13918	N2741 COUNTY ROAD B	04/30/2025	GARY L & LINDA A SWANKE	0	Other - Cell Towers	Class 2 Co locate for T-Mobile.		

Town of Princeton

Permit Number	Site Address	Issued Date	Owner Name	Estimated Cost	Project_1 Type/SubType	Project_1 Description	Project_2 Type/SubType	Project_2 Description
13928	No Address Available	04/17/2025	CHERYLA TYLER, ROBERTP MCINNIS	15000	Accessory Structure - Detached Garage	Detached Garage		
13931	N5131 LUECK LN	04/22/2025	JEFFREY CIRIACKS, TAMMYK KAUFMAN	12000	Accessory Structure - Attached Deck/Patio	Attached Deck Replacement		

Town of Saint Marie

Permit Number	Site Address	Issued Date	Owner Name	Estimated Cost	Project_1 Type/SubType	Project_1 Description	Project_2 Type/SubType	Project_2 Description
NONE								

Town of Seneca

Permit Number	Site Address	Issued Date	Owner Name	Estimated Cost	Project_1 Type/SubType	Project_1 Description	Project_2 Type/SubType	Project_2 Description
None								

April 2024 Estimated Cost \$3,243,665.00
2024 YTD Estimated Cost \$10,468,795.00

April 2025 Estimated Cost: \$7,119,431.00
2025 YTD Estimated Cost: \$12,344,575.00

Sanitary Permits: 4/1/2025 - 4/30/2025

Sanitary Permit	County Permit	Parcel Number	Site Address	Owners	Date Issued	Permit Type	System Type	Plumber Name	Additional Permit Type	Final Insp Date	Ind Site Dsgn	Additional Explanation	County Fee	DSPS Fee	Total Cost to Applicant
202524003		006001630000	N4443 HORNER RD	4 PAR LLC	04/21/2025	Replacement System	Holding Tank	Jeffrey Novak		01/02/1900	No	Kitchen Waste	\$ 355.00	\$ 100.00	\$ 455.00
202524011		004002890102	W706 STATE ROAD 23 AND 49	CHARLES W & LYNN D MIRR REVOCABLE TRUST	04/09/2025	New System	Conventional (Non-Pressurized In-Ground)	Daniel Egbert		01/02/1900	No	2 bedroom house	\$ 280.00	\$ 100.00	\$ 380.00
202524012		012004930100	W2938 CARTER RD	LONNIE MILLER	04/10/2025	New System	Conventional (Non-Pressurized In-Ground)	Dustin Hoffmann		01/02/1900	No	House addition, 3 bedrooms added	\$ 280.00	\$ 100.00	\$ 380.00
202524014		012001390000	W3770 STATE ROAD 44	DELMARF BONTRAGER, NAOMIW BONTRAGER	04/10/2025	New System	Conventional (Non-Pressurized In-Ground)	Dustin Hoffmann		01/02/1900	No	4 bedroom house	\$ 280.00	\$ 100.00	\$ 380.00
202524015		006001630000	N4443 HORNER RD	4 PAR LLC	04/21/2025	Replacement System	Mound	Jeffrey Novak		01/02/1900	No	Mound for Bathroom Waste	\$ 280.00	\$ 100.00	\$ 380.00
202524017		002005420100	N8089 COUNTY ROAD A	NORA GROSSER, TIMOTHYC SYTH	04/23/2025	New System	Conventional (Non-Pressurized In-Ground)	Ben Kinas		01/02/1900	No	6 bedroom house and guest house	\$ 280.00	\$ 100.00	\$ 380.00

Total \$ 1,755.00 \$ 600.00 \$ 2,355.00

Total Sanitary Permits Issued 4/1/2025 - 4/30/2025

System Type	Total Count	New System Total Count	Replacement System Total Count	Revision Total Count
Conventional (Non-Pressurized In-Ground)	4	4	0	0
Holding Tank	1	0	1	0
Mound < 24"	1	0	1	0
Grand Total	6	4	2	0

Total Sanitary Permits Inspected 4/1/2025 - 4/30/2025

System Type	Total Count	New System Total Count	Replacement System Total Count	Revision Total Count
Conventional (Non-Pressurized In-Ground)	5	2	3	0
Holding Tank	1	1	0	0
Grand Total	6	3	3	0

Land Use Violations
Report May 2025

First Notice					
<u>Parcel Number-Town</u>	<u>Site Address</u>	<u>Owner Name</u>	<u>Permit #</u>	<u>Violation Type</u>	<u>Violation Description</u>
004018310000-TBY	W1715 North Street	William J Riebe Living Trust	13775	Zoning	Construction within the sideyard setback. Work to resolve the violation scheduled for spring.
002000910000-TBE	W2347 County Road F	Tim Drover	13669	Zoning	Tires, boats, trash, two mobile homes used as houses, multiple sheds. Owner has made progress to resolve the violation.
016008860200-TPR	N5149 Fox River Lane	James George	13932	Shoreland/Floodplain	Development without a land use permit(338-63.A), Fill within shoreland vegetative buffer zone(338-41.A), Nonexempt structures built within the shoreland setback(338-32.A), Structures built within the side yard setbacks (338-41.C)
006007950104-TGL	W3087 County Road K	Joel Salzman, Stacy Salzman	13783	Zoning	Structure over 1500sq ft. in R1 district.
006016520000-TGL	N5171 Forest Glen Beach Road	Marren Buikders Inc.	13916	Zoning	2 cars and a couple piles of tires and other junk.
006001270000-TGL	N4145 Lakeview Road	Beuthin Family Recreational Trust	13641	Zoning	Shed converted to a dwelling. Small shed built without a permit across from dwelling.
006002510101-TGL	W540 Center Road	Ronald Kasuboski	13912	Zoning	Vehicles and other junk on the property.
016013260000-TPR	W3611 South Parkway	Raymond & Janice Lancaster	13971	Shoreland	Fence built with no CUP.
002001280100-TBE	N9259 32nd Drive	Terrence Duket	13956	Junk	3 Piles if tires, Piles of unused wood and construction materials, 3 or more Trailers, 4 Campers, 1 potentially unusable van.
006016130000-TGL	W1652 Sandstone Avenue	Aleksandr Kogan	13917	Zoning	Fence without permit.
Second Notice					
<u>Parcel Number-Town</u>	<u>Site Address</u>	<u>Owner Name</u>	<u>Permit #</u>	<u>Violation Type</u>	<u>Violation Description</u>
004009170100-TBY	W2955 Hillside Road	John Francis	13736	Shoreland	Retaining wall built within shoreland setback, without a land use permit, and wall is greater than six feet not designed by a professional engineer.
006001160102-TGL	W2498 Oakwood Avenue	Orazio Pollina	13826	Shoreland	Retaining walls within shoreland setback and no LUP for structures
012005160100-TMN	N879 Lane 7	William H Bontrager	13855	Zoning	Structures without land use permit and structure within street yard setback
Sent to Corp. Counsel					
<u>Parcel Number-Town</u>	<u>Site Address</u>	<u>Owner Name</u>	<u>Permit #</u>	<u>Violation Type</u>	<u>Violation Description</u>
020004510000, 020004550000-TSE	Hopp Road Right of way	Hopp	13395	Floodplain	Installed three sets of three culverts in 2008 without WDNR or County Zoning approval. Resolution is to remove all three sets of culverts to restore natural flooding conditions. Update: 6 of 9 culverts have been removed. Town passed Resolution to pull out remaining thee culverts at their expense and after June15th (Walleye Spawning).
006016860000-TGL	W1172 Spring Grove Road	Lizbeth Olsen	13745	Zoning	Fence built without LUP and is not open style or 4 feet in height when within the streetyard setback. Update: Property owner lives in California and had fire damage, has been given additional time to resolve this violation.
002000610100-TBE	N9567 32nd Drive	Aidee Lopez Gaytan, Jose Rivera Venegas	13658	Zoning	Using facilities as an event business. Notice sent in english and spanish.

Monthly Violations Resolved	YTD Violations Resolved
1	8

Resolved					
014001810000-TMQ	N4356 PINE RD E	PAUL PETERSEN	13618	Zoning	3 Recreational Campers in A-1, Farmland Preservation District. Update: See Corporation Counsel

POWTS FAILURE REPORT 5/28/2025

Open					
Parcel Number	Site Address	Owner Name	Permit #	Violation Description	Violation Date
1800271000	N6431 River Road	Dennis F Jensen	1624109	Potentially installed illegal tank, also has POWTS failure to maintain violation that will be pushed first to verify tank violation.	11/25/2024
Notice Sent					
Parcel Number	Site Address	Owner Name	Permit #	Violation Description	Violation Date
006016990000	N3082 N KEARLEY RD	NASH KENNETH A; NASH MARY C	000000185	tank failure	5/7/2025
Final Notice Sent					
Parcel Number	Site Address	Owner Name	Permit #	Violation Description	Violation Date
006001630000	N4443 HORNER RD	4 PAR LLC	199425	Holding tank and mound permits approved now	10/29/2024
004002010100	W1015 BROOKLYN J RD	POLCYN KALIE M; POLCYN NATHAN P	00424050	System illegally modified in 2012. Soil tester and Plumber working on a new permit.	3/7/2025
002007740000	N9626 WILDFLOWER LN	ESSER SCOTT M	000264758	Failed per soil tester and pumping report working with a plumber to get a replacement system.	4/9/2025
006015990000	W1546 SANDSTONE AVE	SOBCZAK FAMILY JOINT REVOCABLE TRUST	010024563	Drywell installed into a zone of saturation. On site confirmation 3/27/25. Owner is pushing the plumber to get in a permit and system installed sooner than later.	3/27/2025
008003590100	N976 COUNTY ROAD H	BONTRAGER ALVA	202124079	Personal shop converted to a hokan. System underfired and	4/17/2025
016002420100	N5521 COUNTY ROAD D	ZUEHLS LOIS	8003	Tank Failure	4/14/2025
Sent To Corp Counsel					
Parcel Number	Site Address	Owner Name	Permit #	Violation Description	Violation Date
008004020000	W6712 PARK VIEW LN	; YODER DOROTHY ; YODER WILBUR ; YODER WILLIAM	00824056	Illegally installed holding tank of some kind. Has new sanitary permit 202424137 installed for new house, waiting on POWTS abandonment.	5/17/2024
016000090000	N6123 SWAMP RD	HEBBE JAMES A	01624006	Working to remove house and abandon system.	4/26/2022
016000900100	N5771 COUNTY ROAD D	ARNESON COURTNEY L	201724075	Drain field failure, new permit issued for repairs	6/24/2024
016004630000	N4487 MAPLE LN	KLEIN JUSTIN T	58848	Tank not Watertight	8/5/2022
016004790100	N4185 WICKS LNDG	CLANCY PATRICK J; CLANCY ROBERT J; CLANCY SOWLE COLLEEN	01624043	Illegal holding tank and plumbing	3/31/2020
016008320000	N5528 COUNTY ROAD T	WEIR LAVERNE J	01624079	Tank not Watertight, drywell structurally compromised	12/12/2023
016009230000	N4922 RAY SHORTER RD	PROG ROD-GUN CLUB	010024256	Tank Failure, water shut off to structure	5/29/2021
018006720200	N7506 STATE ROAD 73	CLEMENTS JR CECIL D	000148246	Drain field failure	4/30/2024
020002500400	W2635 FOX RIVER SHRS E	CONN HAROLD A; CONN LEONARD R; CONN MARY	000037515	Tank has roots growing into it. No longer watertight or structurally sound. discharging effluent to the groundwater table.	5/21/2024
154000570000	145 SHERMAN AVE	LOESL CYNTHIA MARIE; LYSY DEBORAH	15424008	Tank Failure	9/20/2024
14003290100	W7270 Puckaway Road	Ocean Housing LLC	38043	Failing drainfield, pumps, and metal tank.	1/10/2025
004003150200	W1002 STATE ROAD 23 49	COACHLITE GREEN LAKE LLC	200724035	Tank Failure	11/18/2024
004007040300	W2223 LEDGEVIEW RD	RENOVATE LLC	19002655	System installed into or within 2 feet of a zone of saturation	2/11/2025
004011260000	W859 LAKESIDE DR	GRYSKE ANDREW A; GRYSKE SHANNON M	000026739	System installed into or within 2 feet of a zone of saturation	9/30/2024
004011270000	W849 LAKESIDE DR	NUSS JESSICA ; SUHAYSIK CHARLES	000139341	System installed into or within 2 feet of a zone of saturation	8/12/2024
006001350000	N4474 LAKEVIEW RD	BERLOWSKI ZIER BRENDA ; ZIER GREGORY	000018201	System installed into or within 2 feet of a zone of saturation	3/17/2025

GREEN LAKE COUNTY

Notice of Budgetary Adjustment

Date: April 30, 2025

Department: Land Use Planning & Zoning

Amount: \$13,000.00

Budget Year Amended: 2025

Recording information

Batch no: _____

Date: _____

Source of Increase / Decrease and affect on Program:

(If needed attached separate brief explanation.)

Land Info received a secondary 911 grant that covers some expenses from the primary Land Info grant. This reallocates that portion of the primary grant.

Are Green Lake County contingency funded needed to fund this budget adjustment? YES NO

If Yes, complete sections 1, 2, and 3. If No, complete sections 1 and 2 and inform oversight committee.

Section #1

Revenue Budget Lines Amended:

Account #	Account Name	Current Budget	Budget Adjustment	Final Budget
25-100-10-47411-000-000	Interdept Trans Land Info Base Grant	\$ 25,000.00	\$ 10,000.00	\$ 35,000.00
				\$ -
				\$ -
				\$ -
Total Adjustment			\$ 10,000.00	

Expenditure Budget Lines Amended:

Account #	Account Name	Current Budget	Budget Adjustment	Final Budget
25-100-10-53610-210-002	Professional Services - SRV	\$ 14,250.00	\$ 3,000.00	\$ 17,250.00
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
Total Adjustment			\$ 3,000.00	

Section #2

Department Head Approval: Matt Kil

Date: 4-30-25

Finance Director Approval: Kayla Gonke

Date: 04/30/2025

County Administrator Approval: Jason Jerome

Date: 04/30/25

Inform your Governing Committee

Date: _____

Section #3

Governing Committee Approval: N/A

Date: _____

Following this approval please forward to the County Clerk's Office.

Finance Committee Approval: N/A

Date: _____

County Board Approval: N/A

Date: _____

§ 350-27. A-1 Farmland Preservation District. [Amended 6-17-2008 by Ord. No. 935-08; 2-15-2011 by Ord. No. 989-2011; 11-14-2017 by Ord. No. 22-2017]

A. Purpose. The purpose of this district is to promote areas for uses of a generally exclusive agricultural nature in order to protect farmland and to allow participation in the state's farmland preservation program. Land zoned under this district must comply with the following:

(1) Permitted uses:

- (a) Agricultural uses. See Subsection D for agricultural use definitions.
- (b) Not including the specified accessory uses identified in Subsection A(2), other accessory uses, including the farm residence. See Subsection D for "accessory use" definition.
- (c) Upon prior notification to the county, transportation, utility, communication, or other uses that are required under state or federal law to be located in a specific place or that are authorized to be located in a specific place under a state or federal law that preempts the requirement of a conditional use permit for those uses.
- (d) [Subsection A(1)(c) acknowledges that state or federal law may sometimes preempt local authority to restrict the siting of certain facilities. It does not purport to determine which state or federal actions are preemptive. It merely says that if state or federal action is preemptive, no local permit is required and there is no need to rezone the site out of the farmland preservation district. Uses covered by Subsection A(1)(c) might include, for example, state and federal highways, federally mandated pipelines, and energy generation and transmission facilities whose location and design are specifically mandated by the Wisconsin Public Service Commission pursuant to a certificate of convenience and necessity.]
- (e) Undeveloped natural resource and open space areas.
- (f) Nonfarm residences built prior to January 1, 2014.

(2) Conditional uses:

- (a) Agriculture-related uses. (See Subsection D for "agriculture-related use" definition.) No more than two agriculture-related uses or any combination of agriculture-related uses or uses described in Subsection A(2)(b) below, shall be allowed on contiguous lands under common ownership. **[Amended 9-20-2022 by Ord. No. 17-2022]**
- (b) A business, activity, or enterprise, whether or not associated with an agricultural use, and is not a dog breeding facility or a dog breeder as defined in ATCP 16, which meets all of the following requirements: **[Amended 9-21-2021 by Ord. No. 30-2021]**
 - [1] It is conducted on a farm by an owner or operator of that farm.
 - [2] It requires no buildings, structures, or improvements other than those

described in Subsection D(1) and (3) of the definition of "accessory use," And

- a. The majority of the footprint of the new (or modified) accessory building is utilized as an integral part of or incidental to the agricultural use of the farm, or
 - b. The accessory building is used seasonally for the business, activity or enterprise, whether or not associated with an agricultural use, and is converted back to either an integral part of or incidental to the agricultural use for the majority of the year.
- [3] The total cumulative hours worked by paid employees, excluding the owner(s), shall not exceed 160 hours per week.
 - [4] It does not impair or limit the current or future agricultural use of the farm or other protected farmland.
 - [5] A farm residence is already established on the same parcel as the business, activity or enterprise. [Added 9-20-2022 by Ord. No. 17-2022]
 - [6] The farm is at least eight acres in area. [Added 9-20-2022 by Ord. No. 17-2022]
 - [7] No more than two businesses, activities or enterprises, whether or not associated with an agricultural use, including any agriculture-related uses from Subsection A(2)(a) above, shall be allowed by conditional use permit per farm. [Added 9-20-2022 by Ord. No. 17-2022]
- (c) Upon prior notification to the County, transportation, communication, pipeline, electric transmission, utility, or drainage uses, facilities for the generation from sunlight, wind, coal or natural gas, if all the following apply:
- [1] The use and its location in the farmland preservation zoning district are consistent with the purposes of the farmland preservation zoning district.
 - [2] The use and its location in the farmland preservation zoning district are reasonable and appropriate, considering alternative locations, or are specifically approved under state or federal law.
 - [3] The use is reasonably designed to minimize conversion of land at and around the site of the use, from agricultural use or open space use.
 - [4] The use does not substantially impair or limit the current or future agricultural use of surrounding parcels of land that are zoned for or legally restricted to agricultural use.
 - [5] Construction damage to land remaining in agricultural use is minimized and repaired, to the extent feasible.
- (d) Governmental, institutional, religious, or nonprofit community uses, if all of the following apply:
- [1] The use and its location in the farmland preservation zoning district are consistent with the purposes of the farmland preservation zoning district.
 - [2] The use and its location in the farmland preservation zoning district are reasonable and appropriate, considering alternative locations, or are specifically approved under state or federal law.

- [3] The use is reasonably designed to minimize the conversion of land, at and around the site of the use, from agricultural use or open space use.
- [4] The use does not substantially impair or limit the current or future agricultural use of surrounding parcels of land that are zoned for or legally restricted to agricultural use.
- [5] Construction damage to land remaining in agricultural use is minimized and repaired to the extent feasible.
- (e) Nonmetallic mineral extraction, if all of the following apply:
 - [1] The operation complies with Subchapter I of Chapter 295, Wisconsin Statutes, and rules promulgated under that subchapter, with applicable provisions of local ordinances under § 295.14, Wis. Stats. (including all applicable provisions of this chapter), and with any applicable requirements of the Wisconsin Department of Natural Resources concerning the restoration of nonmetallic mining sites.
 - [2] The operation and its location in the farmland preservation zoning district are consistent with the purposes of the farmland preservation zoning district.
 - [3] The operation and its location in the farmland preservation zoning district are reasonable and appropriate, considering alternative locations outside the farmland preservation zoning district, or are specifically approved under state or federal law.
 - [4] The operation is reasonably designed to minimize the conversion of land around the extraction site from agricultural use or open space use.
 - [5] The operation does not substantially impair or limit the current or future agricultural use of surrounding parcels of land that are zoned for or legally restricted to agricultural use.
 - [6] The owner agrees to restore the land to agricultural use, consistent with any required reclamation plan, when extraction is completed.
 - [7] Compliance with Chapter 323 (Nonmetallic Mining Reclamation).
- (f) Oil and gas exploration or production that is licensed by the Department of Natural Resources under Subchapter II of Chapter 295, Wisconsin Statutes.
- (g) Private airport or air strip qualifying as an accessory use under § 91.01(1), Wis. Stats.
- (h) Dog kennels qualifying as an accessory use under § 91.01(1), Wis. Stats. Dog breeder(s) or dog breeding facility(ies) as defined in ATCP 16.01 are not allowed in the A-1, Farmland Preservation Zoning District. **[Amended 9-21-2021 by Ord. No. 30-2021]**
- (i) Game farms/shooting preserves qualifying as an accessory use under § 91.01(1)(b), Wis. Stats. To meet the definition of agricultural use, the game birds or cervids must be raised on the farm for release for hunting.
- (j) Shooting ranges meeting the requirements in § 91.01(1)(d), Wis. Stats.
- (k) Manure storage systems. (Please note that permits for manure storage systems are

subject to § ATCP 50.56 and Ch. ATCP 51, Wis. Adm. Code.)

- (l) Slaughtering of livestock from the A-1 District.
- (m) Processing agricultural by-products or wastes received directly from farms, including farms in the A-1 District.

Note: The County may issue a conditional use permit for a proposed land use not identified in this section if the proposed land use meets applicable conditions under this section. Before issuing a conditional use permit, the County shall determine, in writing, that the proposed use meets applicable conditions under this section. The County may issue the permit subject to conditions designed to carry out the purposes of this chapter. Dog breeder or dog breeding facility as defined in ATCP 16 are exempt from this provision. **[Amended 9-21-2021 by Ord. No. 30-2021]**

(3) Area, height and setback requirements:

- (a) Dimensional standards: A lot or parcel shall have no less than eight acres of contiguous land area. **[Amended 5-21-2019 by Ord. No. 11-2019]** The area within the road right(s)-of-way shall not be included in the minimum acreage requirement, however, design standards, pursuant to Chapter 315, Code of Green Lake County, Land Division and Subdivision, shall apply.

~~Note: The area within the road right(s)-of-way shall not be included for these standards of this subsection. Design standards pursuant to Chapter 315, Code of Green Lake County, Land Divisions and Subdivision, shall apply to a newly created lot or parcel for this subsection.~~

- (b) All principal structures shall be on a lot consistent with the principal use permitted on such lot by the regulations of the district in which it is located.
- (c) Principal structure setback and height standards.
 - [1] Highway setbacks: Refer to § 350-50A. **[Amended 9-21-2021 by Ord. No. 30-2021]**
 - [2] Rear yard setback: 25 feet minimum.
 - [3] Side yard setback: 12 feet minimum.
 - [4] Structure height, dwelling structure: 35 feet.
- (d) Accessory building structure standards. An accessory building structure shall satisfy all of the following standards:
 - [1] Setbacks: same as principal structure.
 - [2] Height: none.
 - [3] Structure footprint area: none.
 - [4] Volume: none.
 - [5] Human habitation of a detached accessory building structure may be allowed; however, it shall be limited to 20% of the footprint area or 300 square feet, whichever is less. This standard shall apply to only one detached accessory building structure per lot or parcel.

- B. Rezoning land out of the A-1 Farmland Preservation Zoning District. Land may be rezoned out of the A-1 Farmland Preservation Zoning District if the County, through their review and recommendation, and after a public hearing, finds that all of the following apply:
- (1) The land is better suited for a use not allowed in the A-1 Farmland Preservation Zoning District.
 - (2) The rezoning is consistent with the Green Lake County Comprehensive Plan.
 - (3) The rezoning is substantially consistent with the Green Lake County Farmland Preservation Plan, certified under Ch. 91, Wis. Stats., which is in effect at the time of zoning.
 - (4) The rezoning will not substantially impair or limit current or future agricultural use of surrounding parcels of land that are zoned for or legally restricted to agricultural use.
 - (5) Note: The above Subsection B(1) through (4) does not apply to any of the following situations:
 - (a) A rezoning that is affirmatively certified by the Wisconsin Department of Agriculture, Trade and Consumer Protection under Ch. 91, Wis. Stats.
 - (b) A rezoning that makes the farmland preservation zoning ordinance map more consistent with the Green Lake County farmland preservation plan map, certified under Ch. 91, Wis. Stats., which is in effect at the time of the rezoning.
- C. Certification of ordinance and amendments by DATCP.
- (1) This Zoning Ordinance must be certified by the State of Wisconsin Department of Agriculture, Trade and Consumer Protection (DATCP) in order for owners of land that is zoned A-1 Farmland Preservation in the Green Lake County to be eligible to claim tax credits under the State of Wisconsin's Farmland Preservation Program.
 - (2) Green Lake County shall notify DATCP of any amendments as required by § 91.36(8), Wis. Stats.
 - (3) Green Lake County shall notify DATCP by March 1 annually of any acres rezoned out of a farmland preservation zoning district during the previous year and a map that clearly shows the location of those acres as required by §§ 91.48(2) and 91.48(3), Wis. Stats.
- D. Farmland preservation definitions. For the purposes of § 350-27 of this chapter, the following definitions shall be used. Please see § 350-77 for conventional zoning district definitions.

ACCESSORY USE — Within the A-1 Zoning District, any of the following land uses on a farm:

- (1) A building, structure, or improvement that is an integral part of, or is incidental to, an agricultural use. **Mobile homes, semi-trailers, camping units, recreational vehicles, mobile office units, buses, motor coaches, trailers, boats and railroad box cars shall not be used as accessory buildings or structures. Buildings, structures, or improvements that meet this definition may include, for example:**
 - (a) A facility used to store or process raw agricultural commodities, all of which are produced on the farm.
 - (b) A facility used to keep livestock on the farm.
 - (c) A facility used to store or process inputs primarily for agricultural uses on the farm.

- (d) A facility used to keep or service vehicles or equipment primarily employed in agricultural uses on the farm.
 - (e) A wind turbine or solar energy facility that collects wind or solar energy on the farm, and uses or transforms it to provide energy primarily for use on the farm.
 - (f) A manure digester, bio-fuel facility, or other facility that produces energy primarily from materials grown or produced on the farm, primarily for use on the farm.
 - (g) A waste storage or processing facility used to store or process animal waste produced solely from livestock kept on the farm.
- (2) An activity or business operation that is an integral part of or incidental to an agricultural use.
 - (3) A farm residence, including normal residential appurtenances.
 - (4) Any other use that DATCP, by rule, identifies as an accessory use.

AGRICULTURAL USE — Any of the following activities conducted for the purpose of producing an income or livelihood:

- (1) Crop or forage production.
- (2) Keeping livestock.
- (3) Beekeeping.
- (4) Nursery, sod, or Christmas tree production.
- (5) Floriculture.
- (6) Aquaculture.
- (7) Fur farming.
- (8) Forest management.
- (9) Enrolling land in a federal agricultural commodity payment program or a federal or state agricultural land conservation payment program.
- (10) Any other use that the Department of Agriculture, Trade and Consumer Protection, by rule, identifies as an agricultural use.

AGRICULTURE-RELATED USE — An agricultural equipment dealership, facility providing agricultural supplies, facility for storing or processing agricultural products, or facility for processing agricultural wastes. In addition, any use that the Department of Agriculture, Trade and Consumer Protection identifies by rule as an agriculture-related use. An "agriculture-related use" must be primary (not just incidentally) related to agriculture, and must have a direct connection to agriculture uses in the A-1 Zoning District.

CERTIFIED FARMLAND PRESERVATION PLAN — A farmland preservation plan that is certified as determined under § 91.12, Wis. Stats.

CERTIFIED FARMLAND PRESERVATION ZONING ORDINANCE — A zoning ordinance that is certified as determined under § 91.32, Wis. Stats.

COMMON OWNERSHIP —

- (1) Ownership by the same person or persons, or by persons that are all wholly owned by the same person or persons. "Common ownership" includes joint tenancy and tenancy in

common. Solely for purposes of this definition, a parcel owned by one member of a married couple is deemed to be owned by the married couple.

- (2) Land is deemed to be under "common ownership," for purposes of this chapter, if it is all owned by the same individual, married couple, joint tenants, and tenants in common, corporation, LLC, partnership, estate or trust. If land parcels are owned by separate legal entities, but those legal entities are all wholly owned by exactly the same person or persons, those land parcels are deemed to be under "common ownership" for purposes of this chapter.

CONDITIONAL USES — Uses of a special nature as to make impractical their predetermination as a permitted use in a district. Conditional uses as used in the A-1 Farmland Preservation Zoning District must meet the requirements of § 91.46, Wis. Stats.

CONTIGUOUS — Adjacent to or sharing a common boundary. "Contiguous" land includes land that is separated only by a river, stream, section line, public road, private road, railroad, pipeline, transmission line, or transportation or transmission right-of-way. Parcels are not "contiguous" if they meet only at a single point.

DOG BREEDER — A person who in any license year sells at least 25 dogs, from more than three litters, which that person has bred and raised in this state. A person has bred and raised dogs for purposes of this definition if that person has owned the dogs from birth until sale, regardless of whether the person has contracted with an agent to raise the dogs on real estate owner or occupied by that agent.**[Added 9-21-2021 by Ord. No. 30-2021]**

DOG BREEDING FACILITY — A place in this state where dogs are bred and raised and from which at least 25 dogs from more than three litters are sold in a license year.**[Added 9-21-2021 by Ord. No. 30-2021]**

DOG KENNEL — An establishment, that is not a dog breeding facility, in which dogs are housed, boarded, groomed, sheltered, protected, trained or sold for fee or compensation.**[Added 9-21-2021 by Ord. No. 30-2021]**

FARM —

- (1) All land under common ownership that is primarily devoted to agricultural use. For the purpose of this definition, land is deemed to be primarily devoted to agricultural use if the following apply:
 - (a) The land produces at least \$6,000 in annual gross farm revenues to its owner or renter, regardless of whether a majority of the land area is in agricultural use; or
 - (b) A majority (greater than 50%) of the land is in agricultural use.
- (2) In determining whether land is in agricultural use for purposes of the definition of "agricultural use," a zoning authority may consider how the land is classified for property tax purposes. (See Ch. Tax 18, Wis. Adm. Code.)

FARM RESIDENCE —

- (1) A single-family or two-family residence that is the only residential structure on the farm or is occupied by any of the following:
 - (a) An owner or operator of the farm.
 - (b) A parent or child of an owner or operator of the farm.
 - (c) An individual who earns more than 50% of his or her gross income from the farm.

- (2) To qualify as a "farm residence," a residence must be located on a "farm." If a farm owner deeds off a residential parcel to another person (even if that person is the farm owner's parent, child or employee), the separately owned parcel is no longer part of the original "farm." A residence built on that parcel does not qualify as a "farm residence" unless the parcel qualifies as a "farm" in its own right.

GROSS FARM REVENUES — Gross receipts from agricultural use of a farm, excluding rent receipts, less the cost or other basis of livestock or other agricultural items purchased for resale which are sold or otherwise disposed of during the taxable year. Gross farm revenue includes receipts accruing to a renter, but does not include rent paid to the landowner.

LICENSE YEAR — Means the twelve-month period ending on September 30 for a license granted by the Department of Agriculture, Trade and Consumer Protection to operate as a dog dealer, dog breeder or as a dog breeding facility.[Added 9-21-2021 by Ord. No. 30-2021]

LIVESTOCK — Includes bovine animals, equine animals, goats, poultry, sheep, swine, farm-raised deer, farm-raised game birds, camelids, ratites and farm-raised fish.

NONCONFORMING USES OR STRUCTURES — Any structure, land, or water lawfully used, occupied, or erected at the time of the effective date of this chapter which does not conform to the regulations of this chapter. Any such structure conforming in respect to use, but not in respect to frontage, width, height, area, yard, parking, loading, or distance requirements shall be considered a nonconforming structure and not a nonconforming use.

NONFARM RESIDENCE — Any residence other than a farm residence.

OPEN SPACE PARCEL — A parcel on which no buildings, other than hunting blinds or small sheds, have been constructed or approved for construction.

PERSON — An individual, corporation, partnership, limited liability company (LLC), trust, estate or other legal entity.

PROTECTED FARMLAND — Land that is any of following:

- (1) Land that is located in the A-1 Farmland Preservation Zoning District certified under Ch. 91, Wis. Stats.
- (2) Covered by a farmland preservation agreement under Ch. 91, Wis. Stats.
- (3) Covered by an agricultural conservation easement under § 93.73, Wis. Stats.
- (4) Otherwise legally protected from nonagricultural development.

§ 350-28. A-2 General Agriculture District. [Amended 6-17-2008 by Ord. No. 935-08; 2-15-2011 by Ord. No. 989-2011; 10-15-2013 by Ord. No. 1070-2013; 11-14-2017 by Ord. No. 22-2017]

A. Purpose. This agricultural district is intended to preserve and enhance land for agricultural uses. This district's uses and standards are designed to implement comprehensive plan goals by encouraging agricultural uses of various sizes in areas where soil and other conditions are best suited to these agricultural pursuits, and controlling residential development to avoid conflict with agricultural uses. This district is generally compatible with other agricultural districts where varying levels of agricultural uses and open space uses are permitted and supported by the comprehensive plan, such as, but not limited to, A-1 Farmland Preservation and R-4 Rural Residential. The best use of these lands is agricultural.

(1) Permitted uses. Those uses permitted in this district shall be agricultural and those that are consistent with agricultural uses.

(a) ~~Accessory structure/use, agricultural~~ Agricultural uses allowed in the A2 zoning district include:

- [1] Crop or forage production
- [2] Keeping livestock
- [3] Beekeeping
- [4] Nursery, sod, or Christmas tree production
- [5] Orchard / vineyard
- [6] Horticulture / floriculture
- [7] Aquaculture
- [8] Fur farming
- [9] Forestry and forest management
- [10] Enrolling land in a federal agricultural commodity payment program or a federal or state agricultural land conservation program.
- [11] Any other use that the Department of Agriculture, Trade, and Consumer Protection, by rule, identifies as an agricultural use.
- [12] One nonfarm residence, including normal residential appurtenances.

(b) ~~Accessory structure/use, residential~~ Accessory uses allowed in the A2 zoning district include:

- [1] A building, structure, or improvement that is an integral part of, or is incidental to, an agricultural use on a farm. Mobile homes, semi-trailers, camping units, recreational vehicles, mobile office units, buses, motor coaches, trailers, boats and railroad box cars shall not be used as accessory buildings or structures. Buildings, structures, or improvements that meet this definition may include, for example:
 - a. A facility used to store or process raw agricultural commodities, all of which are produced on the farm.
 - b. A facility used to keep livestock on the farm.
 - c. A facility used to store or process inputs primarily for agricultural uses on the farm.
 - d. A facility used to keep or service vehicles or equipment primarily employed in agricultural uses on the farm.
 - e. A wind turbine or solar energy facility that collects wind or solar energy on

the farm, and uses or transforms it to provide energy primarily for use on the farm.

f. A manure digester, bio-fuel facility, or other facility that produces energy primarily from materials grown or produced on the farm, primarily for use on the farm.

g. A waste storage or processing facility used to store or process animal waste produced solely from livestock kept on the farm.

[2] An activity or business operation that is an integral part of, or incidental to an agricultural use.

[3] A farm residence, including normal residential appurtenances.

(c) (Reserved)

(d) ~~Beekkeeping~~ Upon prior notification to the county, transportation, utility, communication, or other uses that are required under state or federal law to be located in a specific place or that are authorized to be located in a specific place under a state or federal law that preempts the requirement of a conditional use permit for those uses.

(e) ~~Crops, cash~~ Undeveloped natural resources and open space uses.

(f) ~~Crops, field.~~

(g) ~~Dairying.~~

(h) ~~Dwelling, single family.~~

(i) ~~Egg production.~~

(j) ~~Farm, sod.~~

(k) ~~Farm, tree.~~

(l) ~~Floriculture.~~

(m) ~~Forestry.~~

(n) ~~Grazing.~~

(o) ~~Greenhouse, accessory to permitted use.~~

(f) Home occupation when established in a residential dwelling unit; all of the following shall apply:

[1] Shall be located in the place of permanent residency; and

[2] Is incidental to the residential occupancy; and

[3] Is limited to one inside level of the dwelling unit and does not occupy more than 25% of the floor area of that level; and

[4] That no mechanical equipment is used other than such as is permissible for typical residential purposes; and

[5] There is no emission of odor, gas, smoke, dust, or noise that will be detrimental to the character of the neighborhood; and

[6] That no person outside the immediate resident family operates such home occupation; and

[7] A sign per § 350-43B(3) is allowed.

~~(g) Horticulture.~~

~~(h) Livestock, raising/keeping.~~

~~(i) Nursery, aquatic.~~

~~(j) Nursery, plant.~~

~~(k) Orchard.~~

~~(l) Paddocks.~~

(g) Professional home office when established in a residential dwelling unit; all of the following shall apply:

[1] Located in the practitioner's place of permanent residency; and

[2] Is incidental to the residential occupancy, limited to one inside level of the dwelling unit and does not occupy more than 25% of the floor area of that level; and

[3] A sign per § 350-43B(3) is allowed; and

[4] One person that is not a member of the resident family may be employed on the premises.

(h) Riding stable, personal.

(i) Roadside stand of less than 300 square feet in area as a temporary structure not wholly enclosed for the sale of produce grown on the premises. One stand allowed per premises.

(j) Signs per § 350-43.

~~(aa) Trail, biking.~~

~~(bb) Trail, hiking.~~

~~(cc) Trail, horse.~~

~~(dd) Trail, nature.~~

~~(ee) Trail, recreation.~~

~~(ff) Utility, local service lines/structures.~~

~~(gg) Viticulture.~~

~~(hh) All permitted uses described in § 350-27, Farmland Preservation District.~~

(2) Conditional uses. Conditions and standards for a conditional use permit are set forth in Chapter 350, Article VII, Conditional Use Permits.

(a) ~~Air landing field, agricultural landowner use~~ Agricultural-related uses (See Section 350-77 for definition). No more than two agriculture-related uses or any combination of agriculture-related uses or uses described in (b) below shall be allowed on contiguous

lands under common ownership.

- (b) ~~Animal veterinary clinic. [Amended 9-21-2021 by Ord. No. 30-2021]~~ A business, activity or enterprise, whether or not associated with an agricultural use on the farm which meets all of the following requirements:
- [1] It is conducted on the farm by an owner or operator of that farm.
 - [2] The total cumulative hours worked by paid employees, excluding the owner(s), shall not exceed 160 hours per week.
 - [3] It does not impair or limit the current or future agricultural use of the farm or other protected farmland.
 - [4] A farm residence is already established on the same parcel as the business, activity or enterprise.
 - [5] The farm is at least 8 acres in area.
 - [6] No more than two businesses, activities or enterprises, whether or not associated with an agricultural use on the farm, shall be allowed on contiguous lands under common ownership.
- (c) ~~Animal hospital~~ Upon prior notification to the County, transportation, communication, pipeline, electric transmission, utility or drainage uses, facilities for the generation of sunlight, wind, coal, or natural gas, if all of the following apply:
- [1] The use is reasonable designed to minimize the conversion of land from agricultural use, at and around the site of the use.
 - [2] The use does not substantially impair or limit the current or future agricultural use of surrounding parcels of land that are zoned for or legally restricted to agricultural use.
 - [3] Construction damage to land remaining in agricultural use is minimized and repaired, to the extent feasible.
- (d) ~~Animal kennel~~ Government, institutional, religious or nonprofit community uses, if all of the following apply:
- [1] The use is reasonable designed to minimize the conversion of land from agricultural use, at and around the site of the use.
 - [2] The use does not substantially impair or limit the current or future agricultural use of surrounding parcels of land that are zoned for or legally restricted to agricultural use.
 - [3] Construction damage to land remaining in agricultural use is minimized and repaired, to the extent feasible.
- (e) ~~Animal shelter~~ Nonmetallic mineral extraction, if all of the following apply:
- [1] The operation complies with Subchapter I of Chapter 295, Wis. Stats., and rules promulgated under that subchapter, with applicable provisions of local ordinances under §295.14, Wis. Stats. (including all applicable provisions of this chapter), and with any applicable requirements of the Wisconsin Department of Natural Resources concerning the restoration of nonmetallic mining sites.
 - [2] The use is reasonable designed to minimize the conversion of land from agricultural use, at and around the site of the use.
 - [3] The use does not substantially impair or limit the current or future agricultural use of surrounding parcels of land that are zoned for or legally restricted to agricultural use.

[4] Construction damage to land remaining in agricultural use is minimized and repaired, to the extent feasible.

- (f) ~~Dog breeder or dog breeding facility. [Amended 9-21-2021 by Ord. No. 30-2021].~~ Oil and gas exploration or production that is licensed by the Department of Natural Resources under Subchapter II of Chapter 295, Wisconsin Statutes.
- (g) ~~Cemetery.~~ Private airport or air strip.
- (h) ~~Churches and religious structures~~ Dog kennel(s).
- (i) ~~Dwelling for caretaker/laborer(s), may be multiple units~~ Game farms/shooting preserves.
- (j) ~~Farm, fish~~ Shooting ranges.
- (k) ~~Farm, fur~~ Slaughtering of livestock.
- (l) ~~Farm, game~~ Processing of agricultural byproducts or wastes received directly from farms.
- (m) ~~Farm implement sales/repair/service.~~
- (n) ~~Feed lot over 100 animals.~~
- (o) ~~Fish pond, commercial.~~
- (p) ~~Greenhouse, commercial retail.~~
- (q) ~~Livestock auction/sales facility.~~
- (r) ~~Lumber yard.~~
- (s) ~~Municipal buildings including administrative offices, meeting hall and any municipal accessory structure.~~
- (t) ~~Radio or television broadcasting studio.~~
- (u) ~~Railroad depot/station.~~
- (v) ~~Riding stable with boarding/stabling, commercial.~~
- (w) ~~Sawmill.~~
- (x) ~~Schools.~~
- (y) ~~Sewage disposal plant.~~
- (z) ~~Tower and appurtenances, communication or relay.~~
- (aa) ~~Utility substation/other structure, public.~~
- (bb) ~~Utility transmission lines, not regulated by the Public Service Commission.~~
- (cc) ~~RV and boat storage for rental.~~
- (dd) ~~Yard and landscaping services.~~
- (ee) ~~All conditional uses listed in § 350-27, Farmland Preservation District.~~

(3) Area, height and setback requirements.

- (a) A lot or parcel shall have no less than eight acres of contiguous land area. The area within the road right(s)-of-way shall not be included in the minimum acreage requirement, however, design standards, pursuant to Chapter 315, Code of Green Lake County, Land Division and Subdivision, shall apply.
- (b) All principal structures shall be on a lot consistent with the principal use permitted on such lot by the regulations of the district in which it is located.

~~Note: The area within the road right(s)-of-way shall not be included for the standards of this subsection. Design standards pursuant to Chapter 315, Code of Green Lake County, Land Division and Subdivision, shall apply to a newly created lot or parcel for this subsection.~~

(c) Principal structure setback and height standards.

[1] Highway setbacks: Refer to § 350-50A. [Amended 9-21-2021 by Ord. No. 30-2021]

[2] Rear yard setback: 25 feet minimum.

[3] Side yard setback: 12 feet minimum.

[4] Structure height, dwelling structure: 35 feet.

(d) Accessory building structure standards. An accessory building structure shall satisfy all of the following standards:

[1] Setbacks: same as principal structure.

[2] Height: none.

[3] Structure footprint area: none.

[4] Structure volume: none.

[5] Human habitation of a detached accessory building structure may be allowed; however, it shall be limited to 20% of the footprint area or 300 square feet, whichever is less. This standard shall apply to only one detached accessory building structure per lot or parcel.

§ 350-41. R-4 Rural Residential District. [Amended 6-20-2006 by Ord. No. 866-06; 11-12-2008 by Ord. No. 940-08; 2-15-2011 by Ord. No. 989-2011; 8-21-2012 by Ord. No. 1033-2012]

A. Purpose. This residential district is intended to provide for limited rural residential use development; require a large residential land area to maintain the rural character and to accommodate uses that are not urban in nature including light agriculture. This district's uses and standards are designed to implement Comprehensive Plan goals by encouraging a blend of residential and agricultural uses. This district may be used as a transitional zone to retain land in a less intensive use until the appropriate time for a more intensive residential or other use occurs. The lands in this district should be predominately agricultural areas not suited for agricultural production or those lands due to location that would have limited impact on agricultural production. Residents of this district may experience conditions associated with adjoining agricultural lands that are not experienced in areas of predominately residential use.

~~A.(1) Permitted uses. Those uses permitted in this district shall be agricultural and those that are consistent with agricultural uses.~~

~~(1)(a) Accessory structure/use~~ Agricultural uses allowed in the A2 zoning district include:

- [1] Crop or forage production.
- [2] Keeping livestock
- [3] Beekeeping.
- [4] Nursery, sod, or Christmas tree production.
- [5] Orchard / vineyard.
- [6] Horticulture / floriculture.
- [7] Aquaculture.
- [8] Fur farming.
- [9] Forestry and forest management
- [10] Enrolling land in a federal agricultural commodity payment program or a federal or state agricultural land conservation program.
- [11] Any other use that the Department of Agriculture, Trade, and Consumer Protection, by rule, identifies as an agricultural use.
- [12] One nonfarm residence, including normal residential appurtenances

~~(2)(b) Beekeeping~~ Agricultural accessory uses

~~(3)(c) Community living, eight or fewer residents.~~

~~(4) Crops, field.~~

~~(5)(d) Day care, eight or fewer children.~~

~~(6) Dwelling, single-family.~~

~~(7) Dwelling, two-family (duplex)~~

~~(8) Floriculture~~

~~(9) Grazing~~

~~(10) Greenhouse, accessory to the permitted use.~~

~~(11)(e) Home occupation:~~

- [1] Shall be located in the place of permanent residency;
- [2] Is incidental to the residential occupancy;
- [3] Limited to one inside level of the dwelling unit and does not occupy more than 25% of the floor area of that level;
- [4] That no article is sold or offered for sale on the premises except such as produced by the home occupation;
- [5] That no stock-in-trade is kept or sold;
- [6] That no mechanical equipment is used other than such as is permissible for typical residential purposes;
- [7] There is no emission of odor, gas, smoke, dust, or noise that will be detrimental to the character of the neighborhood; and
- [8] That no person outside the immediate resident family operates such home occupation.

~~(12) Horticulture~~

~~(13) Livestock, raising/keeping.~~

~~(14) Orchard~~

~~(15) Paddock~~

~~(16)~~(f). Professional home office when established in a residential dwelling unit shall be:

- ~~(a)~~[1] Located in the practitioner's place of permanent residency;
- ~~(b)~~[2] Is incidental to the residential occupancy, limited to one inside level of the dwelling unit and does not occupy more than 25% of the floor area of that level; and
- ~~(c)~~[3] Not more than one person not a member of the resident family shall be employed on the premises.

(g) Recreational trails.

(h) Riding Stable.

(i) Roadside stand of less than 300 square feet in area as a temporary structure, not wholly enclosed, for the sale of produce grown on the premises. One stand allowed per premises.

(j) Signs per § 350-43.

(k) Unoccupied outside storage of camping trailer, motor home boats, fishing shanty or other similar recreational vehicles or devices as an accessory use. There shall be a combined limit of two items per family dwelling unit.

(l) Utility, local lines.

(m) A mobile or manufactured home shall be allowed as a temporary structure for the shelter of persons and property as a result of disaster-related damages. The mobile or manufactured home shall be located after obtaining all necessary permits, for no more than one year and shall be located on the premises with the construction of the new permanent structure. **[Amended 3-19-2019 by Ord. No. 2-2019]**

(2) Conditional uses. Conditions and standards for a conditional use permit are set forth in § 350, Article VII, Conditional Use Permits. **[Amended 11-14-2017 by Ord. No. 22-2017]**

(a) Agricultural-related uses (See Section 350-77 for definition). **Only one agricultural-related use allowed on an R4-zoned lot or parcel.**

(b) Bed-and-breakfast establishment.

(c) Community living, nine or more residents.

(d) Day care, nine or more children.

(e) Tourist rooming house.

(f) Tower and appurtenances, communication or relay.

(g) Utility transmission lines.

(h) Event barn (only as an accessory use to the residential use, existing buildings only).

[Added 3-19-2019 by Ord. No. 2-2019]

- (i) Kennel (must be on at least a five-acre lot or parcel and only as an accessory use to the residential use). **[Added 3-19-2019 by Ord. No. 2-2019; amended 9-21-2021 by Ord. No. 30-2021]**
 - (j) RV and boat storage for rent (only as an accessory use to the residential use, existing buildings only). **[Added 3-19-2019 by Ord. No. 2-2019]**
- (3) Area, height and setback requirements. **[Amended 11-14-2017 by Ord. No. 22-2017]**
- (a) A lot or parcel shall have a three-acre-minimum and less than eight-acre-maximum of contiguous land area. ~~The area within the road right(s)-of-way shall not be included in the minimum acreage requirement, however, design standards, pursuant to Chapter 315, Code of Green Lake County, Land Division and Subdivision, shall apply.~~
- ~~Note: The area within the road right(s) of way shall not be included for the standards of this subsection. Design standards pursuant to Chapter 315, Code of Green Lake County, Land Division and Subdivision, shall apply to a newly created lot or parcel for this subsection.~~
- (4) Principal structure setback and height standards.
- (a) Highway setbacks: Refer to § 350-50A. **[Amended 9-21-2021 by Ord. No. 30-2021]**
 - (b) Rear yard setback: 25 feet minimum.
 - (c) Side yard setback: 12 feet minimum.
 - (d) Structure height; dwelling structure: 35 feet overall maximum.
- (5) Accessory structure standards. The total combined footprint area allowed for accessory building structures shall not exceed 10% of the land area, excluding any road right-of-way. An accessory building structure shall satisfy all of the following standards: **[Amended 8-18-2020 by Ord. No. 9-2020; 9-21-2021 by Ord. No. 30-2021]**
- (a) Setbacks: same as principal structure.
 - (b) Height: None. However, there shall be no sidewalls above the ground floor ceiling joist. Ground floor sidewalls shall not exceed 20 feet in height. **[Amended 9-19-2023 by Ord. No. 13-2023]**
 - (c) Structure footprint: None. **[Amended 9-19-2023 by Ord. No. 13-2023]**
 - (d) Volume: None. **[Amended 9-19-2023 by Ord. No. 13-2023]**
 - (e) Human habitation of a detached accessory building structure may be allowed, however shall be limited to 20% of the footprint area or 300 square feet, whichever is less. This standard shall apply to only one detached accessory building structure per lot or parcel.
 - (f) In no case is a shipping or storage container(s) to be utilized as a residential accessory building structure.¹

1. Editor's Note: Former Subsection F, regarding accessory nonbuilding structure standards, which immediately followed, was repealed 9-21-2021 by Ord. No. 30-2021.

ARTICLE XIII
Word Usage and Definitions
[Added 12-19-2006 by Ord. No. 884-06]

§ 350-77. Word usage and definitions. [Amended 12-16-2008 by Ord. No. 942-08; 12-15-2009 by Ord. No. 969-2009; 10-15-2013 by Ord. No. 1070-2013; 8-19-2014 by Ord. No. 1092-2014; 12-16-2014 by Ord. No. 1104-2014; 11-14-2017 by Ord. No. 22-2017; 3-19-2019 by Ord. No. 2-2019; 8-18-2020 by Ord. No. 9-2020; 9-21-2021 by Ord. No. 30-2021; 9-20-2022 by Ord. No. 17-2022; 6-18-2024 by Ord. No. 14-2024]

Unless specifically defined below, words and phrases used in this chapter shall have the same meaning as they have in common law to give this chapter its most reasonable application. This section is intended to clarify word usage and not to establish standards for this chapter. Words used in the present tense include the future, the singular number includes the plural, and the plural number includes the singular. The word "may" is permissive, and the word "shall" is mandatory and not discretionary. For terms not found in this section, other sources may be utilized to establish an applicable definition. Certain words and phrases have different meaning when used in different ordinances. Refer to specific ordinances for word usage and definition.

ACCESS AREA, LOT — The access area that is part of a contiguous land area, generally being a narrow strip of land that does not meet the minimum land area width requirements, that provides access for a permitted activity.

ACCESS AREA, PUBLIC — A land area that provides public boat access or carry-in access.

ACCESSORY STRUCTURE — A subordinate structure, detached from the principal structure, the use of which is incidental to, and customarily found in connection with, the principal structure or use of the property.

ACCESSORY USE — A subordinate use, which is incidental to and customarily in connection with the principal structure or use, and which is located on the same property with such principal structure or use.

ACCESS SITE/LOT — A parcel of land that is contiguous to a body of water (lake, river or stream) that provides a means of waterfront access for backlot development.

ADDITION — An expansion horizontally and/or vertically.

ADULT BATHHOUSE — An establishment or business that provides the service of baths of all kinds, including all forms and methods of hydrotherapy, that is not operated by a medical practitioner or a professional physical therapist licensed by the State of Wisconsin and which establishment provides to its patrons an opportunity for engaging in specified sexual activities, as defined herein.

ADULT BODY PAINTING STUDIO — An establishment or business wherein patrons are afforded an opportunity to paint images on a body that is wholly or partially nude. For purposes of this chapter, "adult body painting studio" shall not be deemed to include a tattoo parlor.

ADULT BOOKSTORE — Means, but shall not be limited to, an establishment having as a substantial or significant portion of its stock and trade in books, magazines, and other periodicals that are distinguished or characterized by their emphasis on matter depicting, describing, or relating to specified anatomical areas or specified sexual activities. "Adult bookstore" shall also

include, but not be limited to, establishments that have a facility or facilities, including but not limited to booths, cubicles, rooms or stalls, for the presentation of adult entertainment as defined herein, including adult-oriented films, movies or live performances for observation by patrons therein, or which, as part of their regular and substantial course of conduct, offer for sale, rent, trade, lease, inspection or viewing books, films, videocassettes, magazines or other periodicals that are distinguished or characterized by their emphasis on matters depicting, describing or relating to adult entertainment as defined herein.

ADULT CABARET — A cabaret that features male or female impersonators or similar entertainers.

ADULT ENTERTAINMENT — Any exhibition of any motion picture, live performance, display or dance of any type that has a significant or substantial portion of such performance based on or that is distinguished or characterized by an emphasis on sex and/or sexual gratification, or any actual or simulated performance of specified sexual activities, or exhibition and viewing of specified anatomical areas, as defined herein, appearing unclothed, or the removal of articles of clothing to reveal specified anatomical areas.

ADULT MINI-MOTION-PICTURE THEATER — An enclosed building with a capacity of 50 or fewer persons at which a significant or substantial portion of the material presented is distinguished or characterized by an emphasis on matter depicting, describing, or relating to specified anatomical areas or specified sexual activities, as defined herein, for observation by patrons therein.

ADULT MODELING STUDIO — An establishment or business that provides the services of modeling for the purpose of reproducing the human body wholly or partially nude by means of photography, painting, sketching, drawing or otherwise.

ADULT MOTEL — A hotel, motel or similar commercial establishment which:

- A. Offers accommodations to the public for any form of consideration; provides patrons with closed-circuit television transmissions, films, motion pictures, videocassettes, slides, or other photographic reproductions that are characterized by the depiction or description of specified anatomical areas or specified sexual activities, as defined herein; and has a sign visible from the public right-of-way that advertises the availability of this adult type of photographic reproductions;
- B. Offers a sleeping room for rent for a period of time that is less than 10 hours; or
- C. Allows a tenant or occupant of a sleeping room to subrent the room for a period of time that is less than 10 hours.

ADULT MOTION-PICTURE THEATER — An enclosed building with a capacity of more than 50 persons at which a significant or substantial portion of the material presented is distinguished or characterized by an emphasis on matter depicting, describing, or relating to specified anatomical areas or specified sexual activities, as defined herein, for observation by patrons therein.

ADULT MOTION-PICTURE THEATER (OUTDOOR) — A parcel of land from which individuals may view a motion picture presented out-of-doors that presents material distinguishably characterized by an emphasis on matter depicting, describing, or relating to

specified anatomical areas or specified sexual activities, as defined herein.

ADULT NOVELTY SHOP — An establishment or business having as a substantial or significant portion of its stock and trade in novelty or other items that are distinguished or characterized by their emphasis on specified anatomical areas or designated for specified sexual activities, as defined herein.

ADULT-ORIENTED ESTABLISHMENT — Shall include but not be limited to adult bookstores, adult motion-picture theaters (indoor or outdoor), adult mini motion-picture theaters, adult motels, adult novelty shops, adult cabarets, adult bathhouses, adult modeling studios, and adult body painting studios and further means any premises to which public patrons or members are regularly invited, admitted and/or allowed to view adult entertainment, whether or not such entertainment is held, conducted, operated or maintained for profit, direct or indirect. "Adult-oriented establishment" further includes, without being limited to, any adult entertainment studio or any premises that are physically arranged and used as such, whether advertised or represented as an adult entertainment studio, rap studio, exotic dance studio, encounter studio, sensitivity studio, modeling studio or any other term of like import.

AGRICULTURAL PRACTICE OR USE — As provided in § 281.16(1)(b), Wis. Stats., means beekeeping; commercial feedlots; dairying; egg production; floriculture; fish or fur farming; grazing; livestock raising; orchards; poultry raising; raising of grains, grass, mint and seed crops; raising of fruits, nuts and berries; sod farming; placing land in federal programs in return for payment in kind; owning land, at least 35 acres of which is enrolled in the conservation reserve program under 16 USC 3831 to 3836; and vegetable raising.

AGRICULTURAL-RELATED USE --- A use that is primarily (not just incidentally) related to agriculture including an agricultural equipment dealership, a landing strip for aerial spraying, an animal veterinary clinic, a commercial / retail greenhouse, a livestock auction / sales facility, a facility providing agricultural supplies, a facility for storing or processing agricultural products, or a facility for processing agricultural wastes.

AGRICULTURE — The production, storage, keeping, harvesting, grading, packing, processing, boarding or maintenance, for sale, lease or personal use, of plants and/or animals useful to humans.

AIRPORT — Any land or structure that is used or intended for use for the landing and takeoff of aircraft.

ANIMAL HUSBANDRY OPERATION — A feed lot or any kind of facility, other than a pasture, where animals have been, are, or will be fed, confined, maintained or stabled. Two or more husbandry operations under common ownership are deemed to be a single animal husbandry operation if they are adjacent to each other or if they utilize a common area or system for disposal of waste.

ANIMAL UNIT — A unit of measure used to determine the total number of single animal types or combination of animal types, which are fed, confined, maintained or stabled in an animal feeding operation.

ANIMAL UNITS COMBINED — Any combination of animal types calculated by adding the number of single animal types as multiplied by the equivalency factors of this chapter.

AUTOMOBILE BODY SHOP — A premises used for repair, replacement or reconditioning of automobile parts that does not require the removal of the engine head or pan, engine transmission, or differential involving body and fender work, painting and upholstering service.

AUTOMOBILE CAR WASH — A structure, or portion thereof, containing facilities for washing

automobiles.

AUTOMOBILE REPAIR/SERVICE FACILITY — A premises used for the retail dispensing or sales of vehicular fuels, that provides service and repairs to automobiles (excluding body shop activities), as well as other automobile service uses, including a car wash (as part of the principal structure), installation of lubricants, tires, batteries, and similar vehicle accessories.

AUTOMOBILE WRECKING — The dismantling or wrecking of used motor vehicles or trailers or the storage, sale or dumping of dismantled, partially dismantled, or wrecked vehicles or their parts. (See also "junkyard.")

BACK LOT DEVELOPMENT — Also known as "lot pyramiding," "keyhole development" or "development funneling," is the practice whereby an land area is used for waterfront access by a number of land areas located away from or not contiguous to the water body.

BASEMENT — A space, the perimeter of which has more than 1/2 of its floor-to-ceiling height below the adjoining ground and with a floor-to-ceiling height of not less than 6 1/2 feet.

BED-AND-BREAKFAST — An establishment used for dwelling purposes in which rooms, with or without meals, are offered to transient guests for compensation.

BOOTH, ROOM or CUBICLE — Such enclosures as are specifically offered to the public or members of an adult-oriented establishment for hire or for a fee as part of a business operated on the premises that offers as part of its business the entertainment to be viewed within the enclosure, which shall include, without limitation, such enclosures wherein the entertainment is dispensed for a fee, but a fee is not charged for mere access to the enclosure. However, "booth," "room" or "cubicle" does not mean such enclosures that are private offices used by the owners, managers or persons employed on the premises for attending to the task of their employment, which enclosures are not held out to the public or members of the establishment for hire or for a fee for the purpose of viewing entertainment for a fee and are not open to any persons other than employees, nor shall this definition apply to hotels, motels or other similar establishments licensed by the State of Wisconsin.

BREEZEWAY — An aboveground, roofed accessory structure that is utilized for the purpose of connecting two structures or buildings, as between a house and a garage, with either open or enclosed sides, with or without a foundation. A breezeway is not considered part of a dwelling.

BROADCASTING ANTENNA — Commercial, public or private broadcasting towers.

BUFFER — The use of land, topography, difference in elevation, space, fences, or landscape planting to screen or partially screen a use or property from another use or property and thus reduce undesirable influences, such as site glare, noise, dust, and other external effects.

BUILDABLE AREA — The portion of a land area remaining after required yards and open space requirements have been provided.

BUILDING — A structure having a roof supported by columns or walls used or intended to be used for shelter or enclosure of persons, animals, equipment, machinery or materials.

CABIN CAMP — A land area on which one or more camp cabins are located.

CAMPGROUND — An area of land that is used for the purpose of providing sites for nonpermanent overnight use by camping units and that has a valid campground permit issued under § 254.47, Wis. Stats., and Chapter HFS 178.

CAMPING UNIT — A portable device or enclosure, no more than 400 square feet in area, including a tent, camping trailer, motor home, bus, van, pick-up truck or other mobile recreational vehicle used

as a temporary shelter for human habitation.

CANOPY — A structure attached and extending from the face of a structure constructed as a permanent fixture, which may be supported from the ground.

CARETAKER — A person who is employed to perform maintenance on a property, but whom neither owns nor manages the operations of said property.

CARPORT — A roofed structure providing space for parking of motor vehicles attached to the principal structure extending over a driveway, open on all sides except for the wall(s) of the principal structure, and shall be construed to be part of the principal structure.

CEMETERY — A place set apart, either by municipal authority or private enterprise, for the interment of the dead. The term includes not only lots for burying the bodies of the dead but also avenues, walks and grounds for shrubbery and ornamental purposes.

CERTIFICATE OF COMPLIANCE — An official certification that a premises or a completed development on a premises conforms to the provisions of the applicable ordinance.

CHURCH — A structure, together with its necessary structures and uses, where persons regularly assemble for religious worship and which, together with its accessory structures and uses, is maintained and controlled by a regularly organized religious body organized to sustain public worship and which is exempt from federal income tax as regulated by the Internal Revenue Service Code.

CLINIC, MEDICAL OR DENTAL — A group of medical or dental offices organized as a unified facility to provide medical or dental treatment as contrasted with an unrelated group of such offices, but not including bed-patient care.

CLUB — Structures and facilities owned or operated by a corporation, association, person or persons for a social, educational or recreational purpose but not primarily for profit and not primarily to render a service that is customarily carried on as a business.

COMMITTEE — The Land Use Planning and Zoning Committee.

CONDITIONAL USE PERMIT — A use that may be considered in a particular zoning district if it is adaptable to the limitations of a particular site or made to be complimentary to adjacent land uses. The Land Use Planning and Zoning Committee, as authorized by County ordinance, shall only grant a conditional use permit if the use is consistent with the purpose and intent of this chapter, and may impose conditions that are related to the requested use and reasonable to ensure compliance with this chapter. The applicant must provide substantial evidence the conditions are or will be satisfied.

CONDOMINIUM — As provided in § 703.02(4), Wis. Stats., means property being subject to a condominium declaration established under Chapter 703, Wis. Stats.

CONTRACTOR'S EQUIPMENT — Means all apparatus, machinery, vehicles and other things required for the execution and completion of work or assembly of work by any building trade or other contractor.

CONTRACTOR'S YARD or SHOP — Means any land, building or structure used for the purpose of storing contracting equipment and material or performing shop work or assembly work by any building trade or other contractor.

DAYS — Shall refer to full calendar days.

DENSITY — The relationship of an area of land (generally stated in square feet) to a dwelling unit.

DEVELOPMENT — Any man-made change to improved or unimproved real estate, including but not limited to the construction of buildings, structures or accessory structures; the construction of additions or substantial alterations to buildings, structures or accessory structures; the placement of mobile homes; ditching, lagooning, dredging, filling, grading, paving, excavation or drilling operations; and the deposition or extraction of earthen materials.

DOG BREEDER — A person who in any license year sells at least 25 dogs, from more than three litters, which that person has bred and raised in this state. A person has bred and raised dogs for purposes of this definition if that person has owned the dogs from birth until sale, regardless of whether the person has contracted with an agent to raise the dogs on real estate owned or occupied by that agent.

DOG BREEDING FACILITY — A place in this state where dogs are bred and raised and from which at least 25 dogs from more than three litters are sold in a license year.

DRIVE-THROUGH — Any use where products and/or services are provided to the customer under conditions where the customer does not have to leave the vehicle or where fast service to the vehicle occupants is a service offered regardless of whether the service is provided within the structure.

DRIVEWAY — A private way providing ingress and egress to a public or private right-of way.

DWELLING — A structure or portion thereof designed or used exclusively for human habitation, but not including mobile recreational vehicles, hotels, motels, boarding- and lodging houses.

DWELLING, MULTIPLE-FAMILY — A structure on a single land area, containing three or more dwelling units, or a structure designed for occupancy by three or more families.

DWELLING, SINGLE-FAMILY — A structure on a single land area containing one dwelling unit.

DWELLING, TWO-FAMILY — A structure on a single land area containing two dwelling units.

DWELLING UNIT — As provided in § 106.50(1m)(i), Wis. Stats., means a structure or part of a structure that is used or intended to be used as a home, residence or sleeping place by one person or by two or more persons, who are maintaining a common household, to the exclusion of all others.

EASEMENT — A grant by a property owner for use of a strip of land by the public or any person for any specific purpose, or purposes of constructing and maintaining utilities, including but not exclusive of the following: sanitary sewers, water mains, electric lines, telephone lines, other transmission lines, storm sewer, storm drainageways, gas lines, other service utilities, driveways, etc.

EMPLOYEE — Any and all persons, including independent contractors, who work in or at or render any services directly related to the operation of an adult-oriented establishment.

ENTERTAINER — Any person who provides entertainment within an adult-oriented establishment, as defined herein, whether or not a fee is charged or accepted for entertainment and whether or not entertainment is provided as an employee or independent contractor.

ENTRYWAY — An inside area through which you enter a dwelling from outside of the dwelling that leads to other rooms within a dwelling.

ESSENTIAL SERVICES — Services and utilities needed for the health, safety and general welfare of the community, such as surface, overhead or underground electrical, gas, telephone, steam, sewerage, water and other utilities and the equipment and appurtenances necessary for such systems

to furnish an adequate level of service for the area in which they are located.

EVENT BARN — A structure, that had previously been used for agricultural uses associated with a farm, that has been renovated and upgraded to local and state building codes and re-purposed as a facility for hire to host social or business gatherings, including, but not limited to, meetings, parties, seminars, weddings, receptions, family reunions, anniversaries, and barn dances. Event barns must promote the retention of the rural nature of the parcel and community in which it is located and may only be allowed by conditional use permit.

EXPANSION — An addition to an existing structure that is horizontal, vertical or both.

EXTRACTION — Any nonagricultural, artificial excavation of earth for commercial or industrial uses, excavated or made by the removal from the natural surface of the earth of sod, soil, sand, gravel, stone or other natural matter, or made by turning, breaking or undermining the surface of the earth.

EXTRATERRITORIAL ZONING AREA (referred to as "ETZA") — Consists of that area of a town that has been included in a city's extraterritorial zoning area pursuant to the adoption of ordinances and resolutions under Wisconsin Statutes.

FAMILY — Those persons related by blood, marriage, adoption, or foster care or a group of persons living together in a single dwelling unit.

FARM — ~~An area of land used for agricultural practice or use.~~ All land under common ownership that is primarily devoted to agricultural use. For the purpose of this definition, land is deemed to be primarily devoted to agricultural use if the following apply:

- A. A majority (greater than 50%) of the land is in agricultural use. or
- B. The land produces at least \$6,000 in annual gross farm revenues to its owner or renter, regardless of whether the majority of the land area is in agricultural use.

FARM FAMILY BUSINESS — ~~Any lawful activity, except a farm operation, conducted primarily for any of the following:~~

- ~~A. The purchase, sale, lease, or rental of personal or real property.~~
- ~~B. The manufacture, processing or marketing of products, commodities or any other personal property.~~
- ~~C. The sale of services.~~

FARM OPERATION — ~~An owner or occupant engaged in one or more farming activities, with gross sales from such activities as set forth in §91.91(1), Wis Stats.~~

FEED LOT --- A land area for fattening animals or holding animals temporarily for shipment.

FENCE — Any artificially constructed barrier of any material or combination of materials erected to enclose or screen areas of land. Additionally:

- A. **FENCE, OPEN** — A fence constructed in a manner that provides 50% or more open space.

FENCE, PRIVACY — A fence constructed in a manner that provides less than 50% open space.

FLEA MARKET — An occasional or periodic market held in an open area or structure where groups of individual sellers offer goods for sale to the public.

FLOOR PLAN — A graphic representation of the anticipated utilization of the floor area within

a structure.

FOOTPRINT — The land area covered by a structure at ground level, measured on a horizontal plane.

GARAGE — A structure or part thereof, used or intended to be used for parking and storage of vehicles and/or other personal property.

- A. **ATTACHED** — A garage sharing a common wall with the principal structure. The attachment must extend from original grade to the roofline of one or more of the connected structures, must be completely enclosed by a roof, walls and floor (openings only for windows, skylights, and doors are allowed), and there must be a direct connection from the 2nd floor of the principal structure to the 2nd floor of the attached garage.
- B. **DETACHED** — A garage that is not attached to the principal structure, being an accessory structure.

GARAGE, PUBLIC — A structure or portion thereof, other than a private customer and employee garage or private residential garage, used for parking and storage of vehicles and available to the public.

GARAGE SALE — See "rummage sale."

GASOLINE SERVICE STATION — See "automobile repair/service facility."

~~**GENERAL DEVELOPMENT PLAN** — A report in text and in map form, with the map drawn to scale, depicting the general location and relationship of structures, streets, driveways, recreation areas, parking areas, utilities, etc., as related to a proposed development.~~

~~**GOVERNMENT STRUCTURE** — State, County, Federal, City, Village, or Town structures utilized to provide a service that a specific government entity may provide.~~

GRADE, FINISHED — The final elevation of the ground surface after development.

GRADE, NATURAL — The elevation of the ground surface in its natural state, before man-made alterations.

HOME OCCUPATION — Any occupation or profession carried out for gain within a dwelling unit by a member of the family residing on the premises and where there is no emission of odor, gas, smoke, dust or noise that will be detrimental to the character of the neighborhood.

HORTICULTURE --- Horticultural uses and structures designed for the storage of products and machinery pertaining and necessary thereto.

HOSPITAL — Any structure, institution or place for the diagnosis, treatment and medical, mental, or surgical care of individuals that makes available clinical laboratory service, diagnostic x-ray and treatment facilities for surgery, or obstetrical or psychiatric care and which is accredited as a hospital by the Joint Commission on the Accreditation of Hospitals.

HOTEL — A structure in which lodging, or boarding and lodging, is provided and offered to the public for compensation, and in which ingress and egress to and from all rooms is made through an inside lobby or office supervised by a person in charge at all times.

INSTITUTION — A nonprofit, religious, or public use, such as a church, public or private school, or hospital establishment for public use.

JUNK — Any scrap, waste, reclaimable material or debris, whether or not stored or used in

conjunction with dismantling, processing, salvage, storage, baling, disposal or other use or disposition. Junk includes, but is not limited to, unregistered or inoperable vehicles, tires, vehicle parts, equipment, paper, rags, metal, glass, building materials, household appliances, brush, wood and lumber.

JUNKYARD — Any land area, building or structure or part thereof used for the storage, collecting, processing, purchase, sale or abandonment of junk.

KENNEL — An establishment, that is not a dog breeding facility as defined in ATCP 16, in which domestic animals are housed, boarded, groomed, sheltered, protected, bred, trained or sold for a fee or compensation. A property where there are fewer than five adult dogs is not considered a kennel.

LANDFILL — A system of trash, waste, refuse, debris, salvaged material or garbage disposal in which the waste is buried between layers of soil.

LICENSE YEAR — Means the twelve-month period ending on September 30 for a license granted by the Wisconsin Department of Agriculture, Trade and Consumer Protection to operate as a dog dealer, dog breeder or a dog breeding facility.

LIVING AREA — That area or space within a dwelling unit, devoted to the principal residential use of the structure, excluding attached garages, porches, sheds, and other similar appurtenances.

LOADING AREA — A completely off-street space or berth on the same land area, for the loading or unloading of freight carriers, having adequate ingress and egress to a public street or alley.

LOT — An area of land that is part of a subdivision plat, certified survey map or other document using the platting process duly recorded in the Register of Deeds office that is identified by an assigned number or letter.

LOT DEPTH — The mean distance between the front and rear lot lines.

LOT LINE — The same as boundary line; the peripheral boundary of a lot, parcel tract or any other land area that divides one recorded land area from another.

- A. **LOT LINE, STREET** — That boundary separating a land area from an existing or dedicated public street.
- B. **LOT LINE, REAR** — That boundary of a land area that is opposite the street lot line. In the case of corner lots, the rear lot line shall be opposite the shorter of the two frontages.
- C. **LOT LINE, SIDE** — That boundary of a land area that is not a street, shore or a rear lot line.
- D. **LOT LINE, SHORE** — That boundary of a land area that abuts a navigable waterway at the ordinary high-water mark.

LOT OR PARCEL, RIPARIAN — An area of contiguous land that is adjacent to perennial navigable waters, having a boundary description duly recorded in the Register of Deeds office that identifies the boundaries of that area of land.

LOT, SUBSTANDARD — An area of land, with or without structures having frontage on a public street, or other approved means of access, and having insufficient size to meet the lot width, lot area, yard, off-street parking areas or other open space provisions of a district wherein located.

LOT WIDTH, AVERAGE — The average of the shortest horizontal distances between the side lot lines at the street lot line, rear lot line or ordinary high-water mark and at any angle point in the side lot lines.

MANUFACTURED HOME — A structure that is designed to be used as a dwelling, with or without a permanent foundation and that is certified by the federal department of Housing and Urban Development as complying with the standards established under 42USC 5401 to 5425.

MARINA — A facility for the storing, servicing, fueling, berthing, and securing of boats and that may include eating, sleeping, and retail facilities for owners, crews and guests.

MINING — See "extraction or nonmetallic mining."

MOBILE HOME — A vehicle manufactured or assembled before June 15, 1976, designed to be towed as a single unit or in sections upon a highway by a motor vehicle and equipped and used, or intended to be used, primarily for human habitation, with walls of rigid uncollapsible construction, which has an overall length in excess of 45 feet. "Mobile home" includes the mobile home structure, its plumbing, heating, air conditioning and electrical systems, and all appliances and all other equipment carrying a manufacturer's warranty.

MOBILE HOME PARK — An area of land that is occupied by three or more mobile homes, manufactured homes or park model homes that is advertised or represented as a mobile home park. Mobile home parks shall include any structure, vehicle or enclosure intended for use as part of the equipment of such mobile home park.

MOTEL (MOTOR COURT, MOTOR HOTEL, MOTOR LODGE) — A structure in which lodging or boarding and lodging are provided and offered to the public for compensation and in which ingress and egress for all rooms is made from the exterior of the structure(s).

MUDROOM — A room in a dwelling designed especially for shedding of dirty or wet footwear and clothing.

NONCONFORMING LOT OR PARCEL — A lot or parcel, the area, dimensions or location of which was lawful prior to the adoption, revision or amendment of an ordinance but which fails by reason of such adoption, revision or amendment to conform to the present requirements of the ordinance.

NONCONFORMING STRUCTURE — An existing, usable structure or portions thereof whose location, dimensions or other physical characteristics do not conform to current ordinance standards, but was legally constructed or placed in its current location prior to the adoption of the ordinance or ordinance amendment that made it nonconforming.

NONCONFORMING USE — The lawful use of land, structure or a portion thereof that does not conform to the current land use restrictions, but which was legally established prior to the adoption of the ordinance or ordinance amendment that made it nonconforming.

NURSERY SCHOOL — A private establishment enrolling nine or more children between two and five years of age and where tuition, fees, or other forms of compensation for the care of the children are charged and which is licensed or approved by state and local authorities to operate as a nursery school.

OCCUPANCY — The residing of an individual or individuals in a dwelling unit, or the installation, storage or use of equipment, merchandise or machinery in any public, commercial or industrial structure.

OFFICIAL MAP — The official zoning district map of Green Lake County. This map is a digital electronic data map layer of the County's Geographic Information System (GIS). The County Land Use Planning & Zoning Department updates this map to reflect changes in zoning district boundaries enacted by the County Board as amendments.

OPEN SPACE — An unoccupied space open to the sky on the same lot as the principal structure

or development, which is in addition to other required yard areas and which is not used for parking or driveway purposes.

OPEN STORAGE — Storage of any material outside of a structure.

PARCEL — An area of unplatted contiguous land having a boundary description duly recorded in the Register of Deeds office that identifies the boundaries of that area of land.

PARKING LOT — An off-street area for the temporary storage of motor vehicles consisting of access drives/driveways, aisleways and parking spaces.

- A. **ACCESS DRIVES** — That portion of a parking lot that provides a way of approach to provide physical ingress and egress to a property.
- B. **AISLEWAYS** — That portion of a parking lot/facility that is a traveled way by which vehicles enter and depart parking spaces.
- C. **PARKING SPACES** — That portion of a parking lot/facility that provides for the temporary parking of motor vehicles within a public or private parking lot.

PARTIES IN INTEREST — Includes all abutting property owners, all property owners of opposite frontages and all property owners within 300 feet.

PASSAGEWAY — A narrow extended room that is open on both ends, having walls on either side and under roof that allows unobstructed access to different rooms within a dwelling.

PATIO — A residential accessory structure, used as an outdoor space for leisure, dining, cooking, or similar use, that consists of a surface layer, including but limited to concrete, pavers, bricks, tiles, asphalt or stone (e.g. flagstone, limestone, bluestone, slate, granite, gravel, stone screenings) and the supporting base layers extending subgrade to the underlying soil.

PERMIT — An official finding that a proposed development and use of a property, as indicated by an application, complies with the requirements of applicable ordinances or meets special conditions of a variance or conditional use permit. The applicable ordinance will specify the development activities that need to have such a permit.

PERMITTED USE — Any use allowed in a zoning district and subject to the restrictions applicable to that zoning district.

PREMISES — A lot together with all structures thereon.

PRINCIPAL STRUCTURE — The main or primary structure on a land area that is utilized for the property's principal use.

PRINCIPAL USE — The main or primary use of a land area as distinguished from an accessory use.

PROFESSIONAL HOME OFFICES — The office of a practitioner of a recognized profession that is located in the practitioner's place of permanent residency.

PROPERTY — A land area together with all structures thereon.

PROPERTY LINE — See "lot line."

PUBLIC LAND — Land owned or operated by a municipality, school district, county, state, or other governmental unit.

RAILROAD YARD — An open area for the storage and repair of railroad cars and engines, excluding those areas utilized for the sole purpose of movement and/or transportation of said

railroad cars and engines.

RECREATIONAL VEHICLE — See "camping unit."

RESIDENCE, FARM --- A single-family or two-family residence that is the only residential structure on the farm or is occupied by any of the following:

- (a) An owner or operator of the farm.
- (b) A parent or child of an owner or operator of the farm.
- (c) An individual who earns more than 50% of his or her gross income from the farm.

RESIDENCE, NONFARM --- A single or two-family dwelling /residence that is not a farm residence.

ROAD — See "street."

ROADSIDE FARM STAND — A structure used solely for the sale of farm products produced on the premises.

RUMMAGE SALE — Any display of used goods, on a property customarily used as a residence, that does not exceed four days in duration and occurs no more than once every four months.

RUNOFF — The rainfall, snowmelt or irrigation water flowing over the ground surface.

RUNWAY — A level portion of an airport having a surface specially developed and maintained for the landing and taking off of aircraft.

SATELLITE TELEVISION RECEIVING DISH — A device for the purpose of capturing television signals transmitted via satellite communications facilities and serving the same or similar function as the common television antenna.

SCHOOL — Has the same meaning as in Wisconsin Statutes; and includes public, private, vocational and technical.

SETBACK — The horizontal distance between the structure and an established lot line.

SHOPPING CENTER — A group of commercial establishments planned, constructed and managed as a total entity, with parking provided on-site, provisions for goods delivery separated from the customer access, being developed in accordance with an approved plan.

SIGN — Any object, device, display, or structure, or part thereof, situated outdoors or indoors, that is used to advertise, identify, display, direct, or attract attention to an object, person, institution, organization, business, product, service, event, or location by any means, including words, letters, figures, designs, symbols, fixtures, colors, illumination, or projected images.

- A. ENHANCEMENT FEATURES — Any portion of a sign structure intended to improve the physical appearance of a sign, such as but not limited to roofs, moldings, lattice or other decorative features.
- B. FREESTANDING SIGN — Any sign that is not attached to a building.
- C. OFF-PREMISES SIGN — A sign that directs attention to a business, commodity, service, entertainment or attraction sold, offered or existing elsewhere than upon the same lot where the sign is displayed.
- D. SIGN STRUCTURE — The supports, uprights, braces or framework of a sign.

SITE PLAN — A map or graphics prepared to scale depicting the development of a land area, including, but not limited to, the location and relationship of the structures, streets, driveways,

recreation areas, parking areas, utilities, landscaping, existing and proposed grading, walkways, and other site development information as related to a proposed development.

SPECIFIED ANATOMICAL AREAS —

- A. Less than completely and opaquely covered:
 - (1) Human genitals, pubic region.
 - (2) Buttocks.
 - (3) Female breasts below a point immediately above the top of the areola.
- B. Human male genitals in discernible turgid state, even if completely and opaquely covered.

SPECIFIED SEXUAL ACTIVITIES —

- A. Showing of human genitals in a state of sexual stimulation or arousal.
- B. Acts of human masturbation, sexual intercourse, sodomy, bestiality, necrophilia, sadomasochistic abuse, fellatio or cunnilingus.
- C. Fondling or other erotic touching of human genitals, pubic regions, buttocks or female breasts.

SPLIT-ZONED LOT OR PARCEL — A lot or parcel whereby the lot or parcel consists of more than one zoning district.

STABLE — A structure in which domestic animals are sheltered and fed.

START OF CONSTRUCTION — The date the building permit was issued, provided the actual start of construction, repair, reconstruction, rehabilitation, addition, placement, or other improvement was within 180 days of the permit date. The "actual start" means either the first placement of permanent construction on a site, such as the pouring of slab or footings, the installation of piles, the construction of columns, or any work beyond initial excavation, or the placement of a manufactured home on a foundation. Permanent construction does not include land preparation, such as clearing, grading and filling, nor does it include the installation of streets and/or walkways, nor does it include excavation for a basement, footings, piers or foundations or the erection of temporary forms, nor does it include the installation on the property of accessory buildings, such as garages or sheds not occupied as dwelling units or not part of the main structure. For an alteration, the "actual start of construction" means the first alteration of any wall, ceiling, floor or other structural part of a building, whether or not that alteration affects the external dimensions of the building.

STORY — That portion of a structure included between the surface of any floor and the surface of any floor above it or, if there is no floor above it, then the space between the floor and the ceiling next above it. A basement level having more than 1/2 of its wall surface area height above grade shall be deemed a story for purposes of height regulation.

STORY, HALF — That portion of a structure under a roof line that intersects the wall plates not more than 4 1/2 feet above the floor level of such story.

STRUCTURAL ALTERATION — Any work on the existing structure or parts thereof beyond ordinary maintenance and repair such as but not limited to sheathing, studs, plates stringers, rafters, joists, subfloor, foundation and any others similar to this, but does not include any expansion or replacement of the structure.

STRUCTURE — A combination of materials that form a structure, permanently or temporarily

NOTICE OF PUBLIC HEARING

The Green Lake County Land Use Planning and Zoning Committee will hold a public hearing in County Board Room #0902 of the Green Lake County Government Center, 571 County Road A, Green Lake, WI, on **Thursday, June 5, 2025, at 9:30 a.m.** to consider the following requests:

Item #1: Owner: Rory's Powersports, LLC., **Agent:** James Silloway, **Location:** W780 State Road 23 and 49, **Parcel:** 004-00280-0401, **Legal Description:** Lot 1 of CSM 3995, located in Section 14, T16N, R13E, Town of Brooklyn, ±2.8 acres, **Request:** The owners are requesting a Conditional Use Permit for a commercial building to be utilized for the storage, sales, and repair of wave runners.

Item #2: Owner(s): Mark & Kim Nowacki and Timothy Lind, **Location:** W270 White Ridge Road, **Parcel(s):** 002-00204-0200 & 002-00204-0300, **Legal Description:** SW ¼ of SE ¼, located in Section 12, T17N, R13E, Town of Berlin, ±21.469 acres, **Request:** The owners are requesting a rezone of ±3.022 acres zoned A2, General Agriculture District, to R4, Rural Residential District and a rezone of ±1.0 acres zoned A1, Farmland Preservation District, to A2, General Agriculture District. To be identified by Certified Survey Map.

Item #3: Owner: David W. Schmucker, **Location:** N844 Proscarian Road, **Parcel(s):** 012-00518-0000 & 012-00519-0000, **Legal Description:** NW ¼ of NW ¼, located in Section 27, T14N, R12E, Town of Manchester, ±35.28 acres, **Request:** The owners are requesting a Conditional Use Permit for a non-agriculture related business.

Item #4: Owner: MNJ Development, LLC., **Agent:** Michael Monohan, **Location:** Eastridge Drive, **Parcel:** 002-00855-0000, **Legal Description:** SW ¼ of SW ¼, located in Section 2, T17N, R13E, Town of Berlin, ±1.68 acres, **Request:** The owners are requesting a Conditional Use Permit for a 17-Unit Storage Building.

All interested persons wishing to be heard at the public hearing are invited to attend. For further detailed information concerning this notice and for information related to the outcome of public hearing items, contact the Green Lake County **Land Use Planning and Zoning Department** at (920) 294-4156.

Publish: May 22, 2025

Item #1:

Owner: Rory's Powersports, LLC., **Agent:** James Silloway, **Location:** W780 State Road 23 & 49, **Parcel:** 004-00280-0401, **Legal Description:** Lot 1 of CSM 3995, located in Section 14, T16N, R13E, Town of Brooklyn, ±2.8 acres, **Request:** The owners are requesting a Conditional Use Permit for a commercial building to be utilized for the storage, sales, and repair of wave runners.

Land Use Planning and Zoning Committee Staff Report

Public Hearing

June 5, 2025

Item I: Conditional Use Permit (CUP)

Owner:

Rory's Powersports LLC

Applicant:

Silloway Builders Inc

Request: The owner/applicant is requesting a conditional use permit for a storage building.

Parcel Number/ Location: The request affects parcel 004-00280-0401 (±2.8acres). The parcel is located in the NE ¼ of the SW ¼ of Section 14, T16N, R13E, Town of Brooklyn. The site address is W780 State Road 23 and 49.

Existing Zoning and Uses of Adjacent Area: The parcel 004-00280-0401 is zoned C-2, Extensive Commercial District. The property is currently being used as a marine sales, service, and storage business. To the West and East, the adjacent parcels are zoned A-2, General Agriculture District. These parcels are utilized residentially. To the north, one adjacent parcel is zoned I, Industrial District. The parcel is utilized as a driveway. The other parcel adjacent to the north is zoned C-2, Extensive Commercial District and is utilized residentially. Further to the northeast, several parcels are zoned I, Industrial District. These parcels are home to a contractor's yard. To the south is State Highway 23 and 49. To the south across the highway, the parcels are zoned R-1, Single Family Residential District. These parcels are utilized residentially.

Additional Information/Analysis: The property was a farm field from at least 1937 until 1976. In 1976 a 50 ft x 75 ft warehouse was constructed in the Southeastern portion of the parcel. In 1979 a septic system was installed for the warehouse. The permit indicated the warehouse was a private shop. In 1991 a storage shed was constructed on the Western side of the parcel. In a 1996 Land Use Permit for a sign the property was the home of Rossier Sports Center. The Sports Center specialized in watercraft/marine sales. In 2002, an 80 ft x 60 ft cold storage building was built for use as cold storage and as a showroom. In 2012 a portion of the property obtained a CUP for a small used car sales business. The property is currently continuing the marine sales, service, and storage business; however, the used auto sales business has discontinued its operation.

The owner intends to utilize the new 70 ft x 104 ft building for storage, repair, and sales of wave runners. Wave runners are a type of personal watercraft. Although technically the term wave runner is a trademark of Yamaha, many people refer to this style of personal watercraft as "jet skis". The building will have electrical but will not have heat or running water. The building design has already been conditionally approved by staff working for the State of Wisconsin Department of Safety and Professional Services.

General Standards for Review of Conditional Use Requests: It is important that the Committee maintain the purpose and intent of the County Zoning Ordinance when reviewing and approving a request of this nature. The Committee shall take into consideration, among other things, the recommendation of the affected town and the particular facts and circumstances of each proposed use in terms of the standards found in Section 350-56 “Review of permit application; standards and conditions” of the County Zoning Ordinance. The Committee need not consider requirements that would apply to the local Town, other County, State or Federal entities of jurisdiction.

County Staff Comments: This request should be reviewed by the Committee to determine if it meets the general criteria for review as cited above. If the Committee wishes to approve this request, the following conditions may be appropriate:

1. That the owners/applicants are responsible for obtaining permits and licenses from any other regulatory agency, if required.
2. That the owner/applicant apply for and receive a Land Use Permit prior to making any changes authorized through this conditional use permit approval process.
3. Any outdoor lighting shall comply with Section 350-23 of the County Zoning Ordinance.
4. No additional expansion or addition of structures and/or uses relating to this conditional use permit shall occur without review and approval through future conditional use permit(s).

Town of Brooklyn: The Town Board Action request for the Conditional Use Permit was sent to the Town Clerk. At their May 13th, 2025, town board meeting, the Town of Brooklyn did not object to and approved of the request.

TOWN BOARD ACTION

Dear Land Use Planning and Zoning Committee:

Please be advised that the Town Board of Brooklyn, County of Green Lake, took the following action on –
(Date) 5-13-2025.

Owner/Applicant: Owner: Rory's Powersports, LLC.

Site Location: W780 Highway 23/49

General legal description: Parcel #004-00280-0401, Lot 1 of CSM 3995, located in Section 14, T16N, R13E, Town of Brooklyn, ±2.81 acres

Request: CUP Application from Rory's Powersports, LLC., for a commercial building to be utilized for the storage, sales, and repair of wave runners.

Planned public hearing date for the above requests: June 5, 2025

☒ **Town Does Not object to and Approves of request**

☐ **No action taken**

☐ **Objects to and requests denial of request**

NOTE: If denial – please enclose Town Resolution of denial.

If no action taken – please include reason for inaction.

- Reason(s) for objection/inaction:

Mike Wuest Touchai 5-14-25
Town Representative Date Signed

NOTES:

Please return this form to the Land Use Planning & Zoning Office by: **May 23, 2025**



Land Use Planning & Zoning Department

County Government Center
571 County Road A
Green Lake, WI 54941-8630

Phone 920-294-4156 Website: <http://www.greenlakecountywi.gov>

Land Development Code Enforcement County Surveyor GIS Land Information

APPLICATION FOR CONDITIONAL USE PERMIT

The purpose of the conditional use permit process is to utilize the minimum review standards of the zoning ordinance (Green Lake County Code Chapter 350, Section 56) to determine the effect of the proposed use on the neighborhood and suitability of proposed development at the proposed location. Conditions are added to the request to minimize any impacts to the surrounding properties, if the request is consistent with the adopted Green Lake County Comprehensive Plan.

Prior to the Department accepting the application, the following items need to be completed and/or provided by the owner or applicant:

- ☐ Consultation with the staff in the Land Use Planning & Zoning Department
- ☐ Application completely filled out, including property information, legal description, and detailed description of proposed use
- ☐ Detailed site plan on paper not larger than 11" x 17", drawn to scale and including location of: lot lines, all building and structures with dimensions, all components of private onsite wastewater treatment systems like septic tanks and drain fields, public and private roads including access easements, navigable waterbodies, well location, and the setback distances between all the above
- ☐ Fee as set by the Committee for a public hearing item

OPERATIONAL PLAN NARRATIVE

The operational plan is intended to address all components of the business, from establishment through to present operation. This narrative should be two or more paragraphs that address the following questions, from the perspective of the proposed use:

- What is the history of the business and/or applicant?
- What is the history of the property and its current use?
- Describe in detail the proposed use of the property.
- If applicable, include an operation and/or maintenance plan.
- When will the property be used? (Seasonally? Set daily hours?)
- What will be done with the current structures, if any?
- Will any new structures be built? If yes, how will they be used and where will they be located?
- What hazards, concerns, or disruptions may your proposed use pose to neighboring properties and the community as a whole? How can those concerns be addressed?
- What will be done to protect the human and environmental health of the surrounding area from negative impacts of this use?
- Why was this property chosen for this business activity? How will this use benefit the community by being located on this specific property?
- How would this business activity meet goals and objectives of the County's Comprehensive Plan? (This will be clear after meeting with Department staff prior to submitting the Conditional Use Permit application, as required above.)

Fee Received (Non-Refundable) \$ 375.00

Date 03/06/2025

By signing and submitting this completed application with public hearing fee, the applicant or agent requests the Land Use Planning & Zoning Committee consider the conditional use permit request at the next available public hearing.

PROPERTY OWNER / APPLICANT

Name Rory's Powersports LLC

Mailing Address W780 Hwy 23149

Phone Number _____ Email _____

Signature _____ Date _____

AGENT IF OTHER THAN OWNER

Name Silloway Builders Inc

Mailing Address N7752 Forest Ridge Rd

Phone Number 920-858-4114 Email james@silowaybuilders.com

Signature James Siloway Date 3/5/2025

PROPERTY INFORMATION

Town of Brooklyn Location of Property W780 Hwy 23149

Section 14 Town 16 N Range 13 E

Affected Parcel Number(s) 004-00280-0401 Affected Acres ± 2.8

Subdivision _____ Lot _____ Block _____

CSM 3995 V24 Lot 1 or COS _____

Legal Description Lot 1 CSM 3995 V24 SUBJ to ESMTS as DESC
in Doc 401194 and 401196 INC ROW.

Current Zoning Classification C-2 Extensive Commercial District

Present Use of Property: (List all current uses and improvements, i.e. home, store, farm field, wooded, etc.)

Sales / Repair of Wave Runners

Storage of Wave Runners

PROPOSAL - Use separate or additional sheet(s) IF necessary

Describe **specifically** the nature of this request (List all proposed uses of the parcel.) What do you plan to do? Construct a 70x104x16' Storage building for Wave Runners.

If this application is for a use that will be contained to a part of the parcel, specify the exact dimensions of the affected area. 70x104 building

☐ If this box is checked, provide the following information:

Proposed use has additional minimum development standards in Section _____
Explain how your proposal meets or exceeds these requirements.

OPERATIONAL PLAN NARRATIVE

Indoor Cold Storage for Wave Runners as part of existing business.

Building will not have running water or Septic.

Building will have electrical.



2/7/2025

AARON HALBERG
HALBERG ENGINEERING LLC
10335N DUFFY RD
HAYWARD, WISCONSIN 54843

Identification Numbers

Plan Review No.: CB-022500199-PRB

Application No.: DIS-122456283

Site ID No.: 640834

Please refer to all identification numbers in each correspondence with the Department.

CONDITIONAL APPROVAL

PLAN APPROVAL EXPIRES: 02/07/2027

CODE APPLIES: 01/14/2025

MUNICIPALITY:

TOWN OF BROOKLYN, GREEN LAKE COUNTY

SITE:

RORYS POWERSPORTS
W780 HWY 23
GREEN LAKE, WI 54941

FOR:

W780 HWY 23

Building Name: Rorys Powersports 70x104x16 Unheated Storage **Object Type:** Building

Major Occupancy: S-1 - Storage Moderate-Hazard **Class of Construction:** VB - Combustible Unprotected Construction

Building Review Type: New **Plan Type:** Full/Complete Building **Total Floor Area in Sq Ft:** 7,280 **Sprinklered Type:** None

Allowable Area Determined By: Unseparated Use **Structural Components Included in Review:** truss, roof

Alteration Level: NA

SITE REQUIREMENTS

- Contact both the State Inspector and the local municipality **PRIOR** to the start of construction.
- A full size copy of the approved plans, specifications and this letter shall be on-site during construction and open to inspection by authorized representatives of the Department, which may include local inspectors. If plan index sheets were submitted in lieu of additional full plan sets, a copy of this approval letter and index sheet shall be attached to plans that correspond with the copy on file with the Department. If these plans were submitted in an electronic form, the designer is responsible to download, print, and bind the full size set of plans along with our approval letter. A Department electronic stamp and signature shall be on the plans which are used at the job site for construction.

The following conditions shall be met during construction or installation and prior to occupancy or use:

KEY ITEM(S):

- SPS 361.31(2) - For new buildings, building additions, and building alterations in an existing building, the Department is NOT requiring lighting plans to be submitted for review and conditional approval. However, the owner is reminded that proper plans and calculations, demonstrating compliance with the general lighting requirements as contained in the IECC; and emergency illumination requirements as addressed in the IBC, are to be on-site and made available to a Dept. representative upon request.
- SPS 361.31 - These plans were conditionally approved electronically. The designer is responsible to download the plans, print out complete sets and permanently bind each set of the conditionally approved electronic plans, along with a complete bound set of specifications, as submitted to the Dept., for reference in the field. Plans for field reference shall be the same size and scale as originally submitted to the Dept. per SPS 361.31(2)(a), and per SPS 361.31(2)(d) shall be clear and legible. A complete bound conditionally approved set of plans and set of specifications shall be made available to a Dept. representative on-site upon request. There shall be an electronic stamp and signature on the index page of the conditionally approved plans by the Dept. representative that conditionally approved the plans, as well as the professional of the project if the building is

over 50,000 cubic ft. Additionally, a copy of the conditional approval letter issued by the Dept. shall be permanently attached to each of the conditionally approved plan sets.

REMINDERS:

- IBC 311.2 - This building has been submitted, reviewed and conditionally approved as an S-1 moderate hazard storage building. Motorized vehicles shall not be driven into the building for loading or unloading, or stored unless appropriate ventilation requirements for an enclosed parking garage are met. Additionally, hazardous materials such as, but not limited to, fuel, gun powder, fireworks, fertilizers, gasoline, etc. shall not be stored in the building unless the limitations in the amounts addressed in IBC 307 are adhered to. The owner shall be responsible to address these storage materials with the ensuing HVAC design professional so that appropriate exhausts and make up air are facilitated. Failure to do so may cause delays in HVAC plan approvals, or if a change of use is recognized after plan approval, may require revised plans addressing the change in use with additional fees to be submitted.
- IBC 2902.1 - Since this building lacks toilet facilities, it is approved as unoccupied storage only.
- SPS 361.36(1)(a) & (b) - The building shell shall be closed within two years of the initial approval date of this project. Also, this approval will expire three years after the date of initial approval of this project if the work covered by this approval is not completed and the building ready for occupancy within those three years.
- IECC C402.1.1 - This building is approved as an unheated storage building. Should the owner wish to heat or cool this building at a future time, building alteration plans shall be required to be submitted and conditionally approved. The plans shall demonstrate building envelope compliance. After such action, HVAC plans would then be required to be submitted and conditionally approved prior to HVAC equipment installation.

The submittal described above has been reviewed for conformance with applicable Wisconsin Administrative Codes and Wisconsin Statutes. The submittal has been **CONDITIONALLY APPROVED**. The owner, as defined in chapter 101.01(10), Wisconsin Statutes, is responsible for compliance with all code requirements. Only those object types listed above have been approved; other submittals such as plumbing and those listed above under **REQUIRED SUBMITTAL(S)**, may also be required.

All permits required by the state or the local municipality shall be obtained prior to commencement of construction/installation/operation. You are responsible for complying with state and federal laws concerning construction near or on wetlands, lakes, and streams.

This plan has not been reviewed for compliance with fire code requirements, including those for fire lanes and fire protection water supply, so contact the local fire department for further information.

In granting this approval, the Division of Industry Services reserves the right to require changes or additions, should conditions arise making them necessary for code compliance. As per state stats 101.12(2), nothing in this review shall relieve the designer of the responsibility for designing a safe building, structure, or component. The Division does not take responsibility for the design or construction of the reviewed items.

Per s. SPS 361.40(4), projects for buildings of over 50,000 cubic feet total volume shall have supervising professionals who file compliance statements with this agency and the local code officials prior to occupancy of the project. Compliance statements shall be filed online at <https://esla.wi.gov/PortalCommunityLogin>.

Inquiries concerning this correspondence may be made to me at the contact information listed below, or at the address on this letterhead.

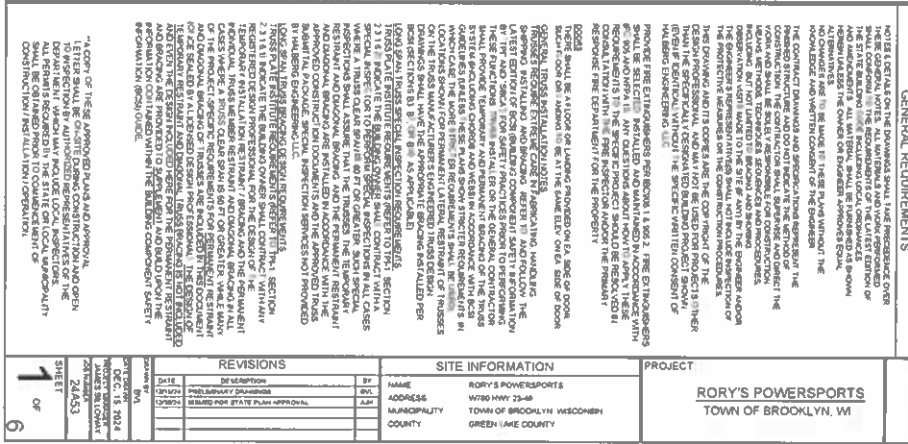
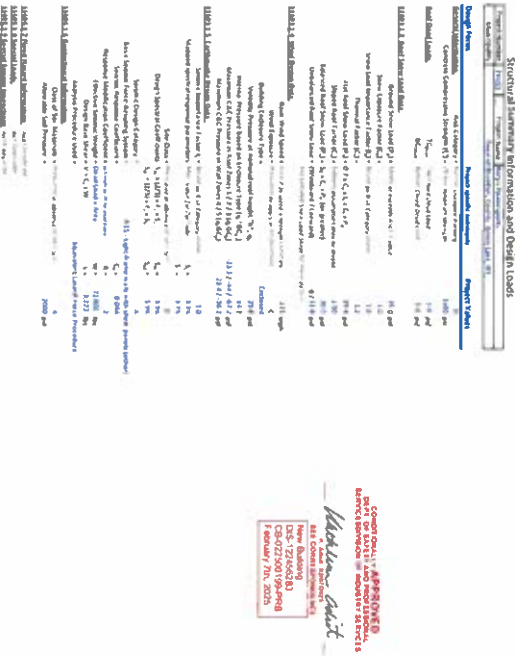
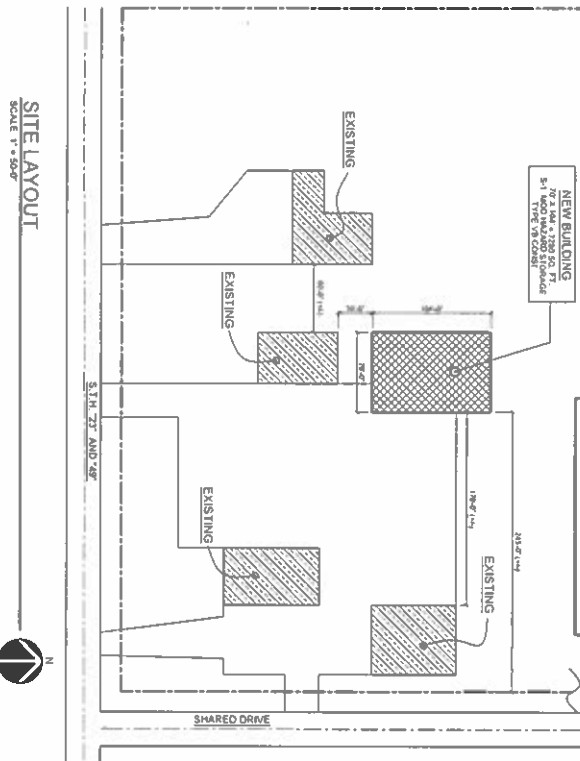
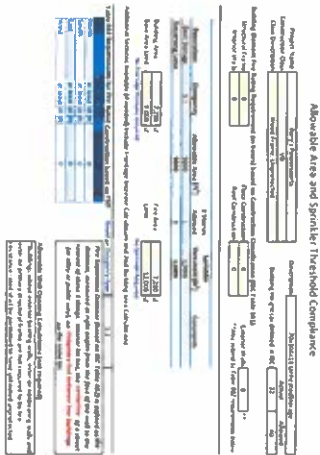
Sincerely,

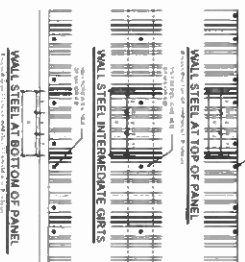
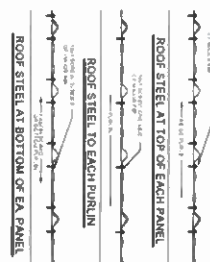
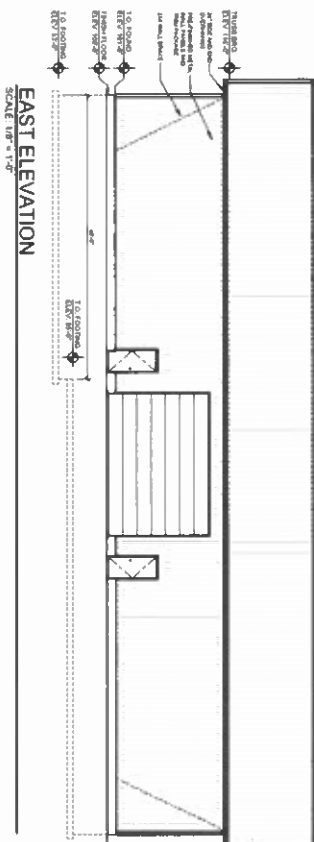
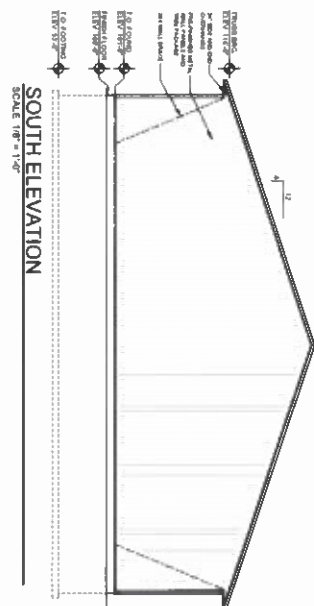
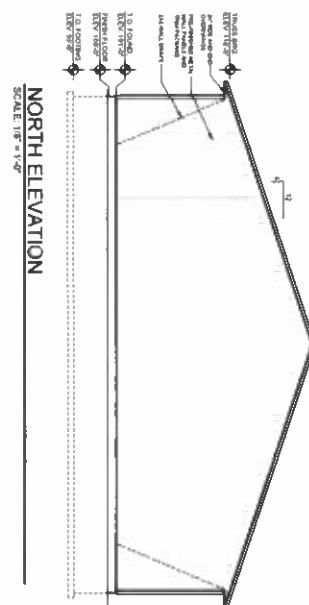
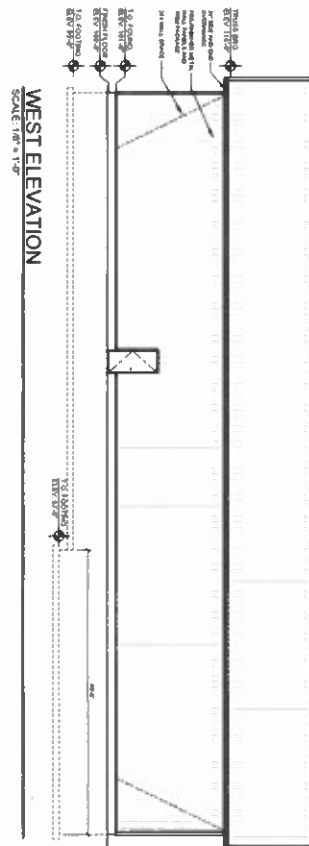


Kathleen Adsit
Building System Consultant - Senior
Division of Industry Services
Phone: 262-521-5187
Email: kathleen.adsit@wisconsin.gov

cc:

BRIAN NOE, DIS INSPECTOR, 920-420-4796, BRIAN.NOE@WISCONSIN.GOV
AMY WESENBERG, MUNICIPAL CLERK, (920) 294-6600, CLERK@TN.BROOKLYN.WI.GOV
RORY LEWIS, RORYS POWERSPORTS, 920-295-9545, RORYSPOWERSPORTS@GMAIL.COM





REVISIONS		
DATE	DESCRIPTION	BY
12/15/24	PRELIMINARY DRAWINGS	SP
12/15/24	ISSUED FOR STATE PLAN APPROVAL	AL

SITE INFORMATION	
NAME	RORY'S POWERSPORTS
ADDRESS	W780 HWY 23-46
MUNICIPALITY	TOWN OF BROOKLYN WISCONSIN
COUNTY	GREEN LAKE COUNTY

PROJECT: RORY'S POWERSPORTS
TOWN OF BROOKLYN, WI



NOTE:

CSM3995

RECORDED ON:

01/23/2025 12:02:20 PM

REC FEE: 30.00

VOL. 24 OF CSM PG. 3995
PAGES: 6

RENEE A. THIEM-KORTH
REGISTER OF DEEDS
GREEN LAKE, WI

CERTIFIED SURVEY MAP

CERTIFIED SURVEY MAP BEING A COMBINATION OF LOT 1, LOT 2, LOT 3 AND LOT 4 OF CERTIFIED SURVEY MAP NO. 292A, LOT 3 AND LOT 4 OF CERTIFIED SURVEY MAP NO. 304 AND OTHER LANDS LOCATED IN PART OF THE NORTHEAST ¼ OF THE SOUTHWEST ¼ OF SECTION 14, TOWN 16 NORTH, RANGE 13 EAST, TOWN OF BROOKLYN, GREEN LAKE COUNTY, WISCONSIN.

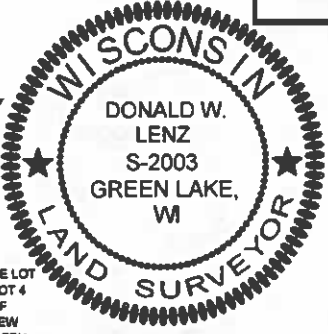
GREEN LAKE SURVEYING COMPANY
A DIVISION OF GENERAL ENGINEERING COMPANY
Green Lake, Wisconsin

Donald W. Lenz, WI P. L. S. No. S-2003
Dated this 6th day of December, 2024.

Drafted by: AJD

OWNER(S)
RORY'S POWERSPORTS LLC
W780 STATE ROAD 2349
GREEN LAKE, WISCONSIN 54941

THE PURPOSE OF THE CERTIFIED SURVEY MAP IS TO COMBINE LOT 1 AND LOT 2 OF CERTIFIED SURVEY MAP NO. 292, LOT 3 AND LOT 4 OF CERTIFIED SURVEY MAP NO. 292A, AND LOT 3 AND LOT 4 OF CERTIFIED SURVEY MAP NO. 304 AND OTHER LANDS INTO A NEW ONE LOT CERTIFIED SURVEY MAP TO CONFORM WITH THE GREEN LAKE COUNTY LAND DIVISION SUBDIVISION ORDINANCE.

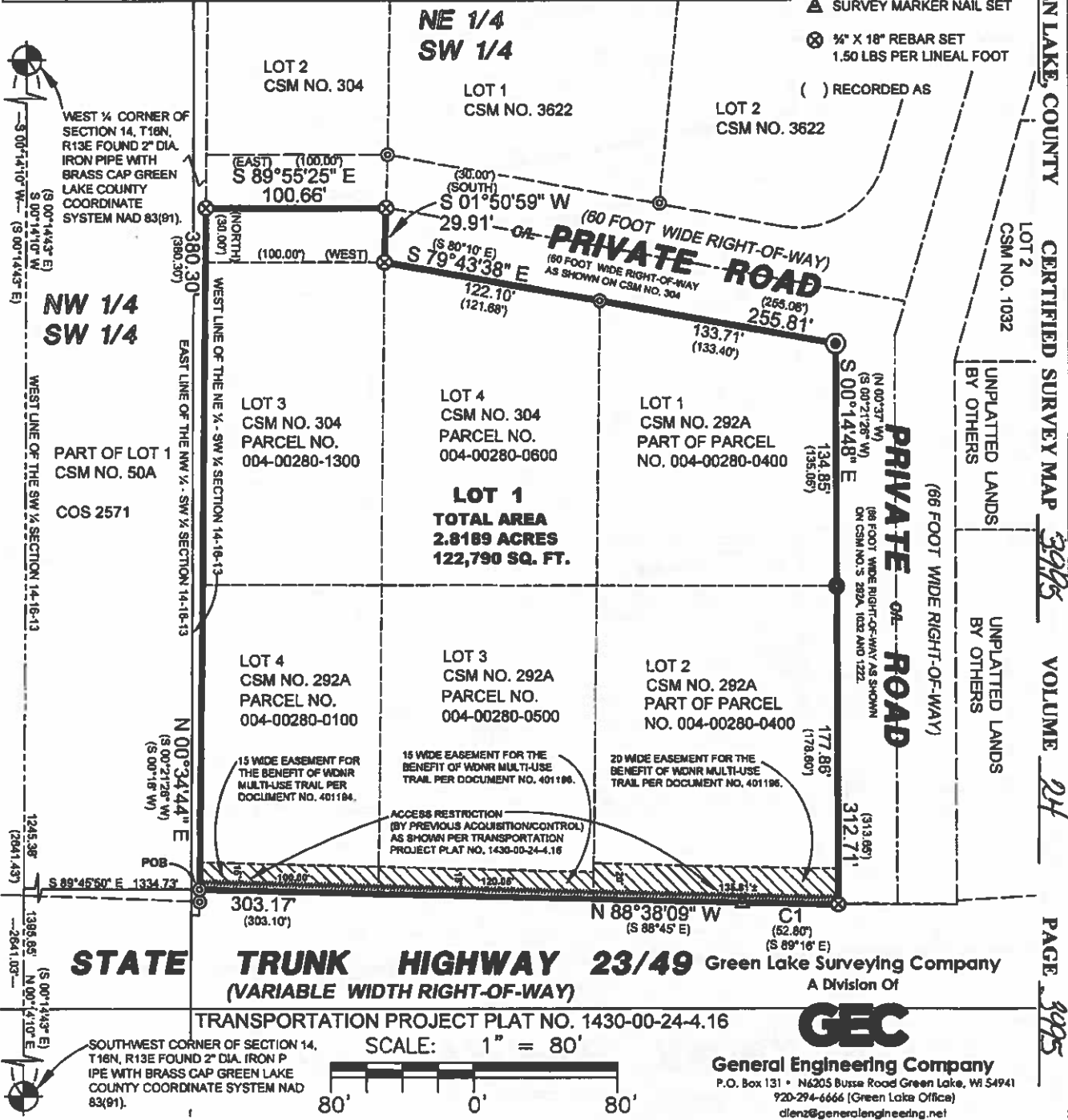


BEARINGS ARE REFERENCED TO THE WEST LINE OF THE SW ¼ OF SECTION 14-16-13 PER GREEN LAKE COUNTY COORDINATE AND BEARING SYSTEM WITH A BEARING OF S 00°14'10" W NAD 83 (91).

LEGEND:

- SECTION CORNER MONUMENT FOUND 2" IRON PIPE WITH BRASS CAP UNLESS NOTED
- 2" IRON PIPE FOUND
- 1" IRON PIPE FOUND
- ¾" CAPPED REBAR FOUND
- SURVEY MARKER NAIL SET
- ¾" X 18" REBAR SET 1.50 LBS PER LINEAL FOOT
- () RECORDED AS

CURVE	RADIUS	ARC	CHORD	BEARING	CEN ANGLE	DEF ANGLE	TAN BEARING	TAN BEARING
C1	3744.71'	53.51'	53.51'	N 89°04'51" W	00°49'08"	00°24'34"	N 89°29'15" W	N 88°40'08" W



STATE TRUNK HIGHWAY 23/49
(VARIABLE WIDTH RIGHT-OF-WAY)

TRANSPORTATION PROJECT PLAT NO. 1430-00-24-4.16

SCALE: 1" = 80'



Green Lake Surveying Company
A Division Of



General Engineering Company
P.O. Box 131 • N6205 Busse Road Green Lake, WI 54941
920-294-6666 (Green Lake Office)
dlenz@generalengineering.net

CERTIFIED SURVEY MAP

CERTIFIED SURVEY MAP BEING A COMBINATION OF LOT 1, LOT 2, LOT 3 AND LOT 4 OF CERTIFIED SURVEY MAP NO. 292A, LOT 3 AND LOT 4 OF CERTIFIED SURVEY MAP NO. 304 AND OTHER LANDS LOCATED IN PART OF THE NORTHEAST ¼ OF THE SOUTHWEST ¼ OF SECTION 14, TOWN 16 NORTH, RANGE 13 EAST, TOWN OF BROOKLYN, GREEN LAKE COUNTY, WISCONSIN.

GREEN LAKE SURVEYING COMPANY
A DIVISION OF GENERAL ENGINEERING COMPANY
Green Lake, Wisconsin

Donald W. Lenz
Donald W. Lenz, WI P. L. S. No. S-2003
Dated this 6th day of December, 2024.
Drafted by: AJD

OWNER(S)
RORY'S POWERSPORTS LLC
W780 STATE ROAD 23/49
GREEN LAKE, WISCONSIN 54941

ZONING:
C2 - EXTENSIVE COMMERCIAL DISTRICT
SETBACKS:
FRONT YARD: 67 FEET
SIDE YARD: 12 FEET
REAR YARD: 25 FEET



BUILDING, UTILITY, PAVEMENT, IMPROVEMENT DETAIL

Green Lake Surveying Company
A Division Of



General Engineering Company
P.O. Box 131 • N6205 Busse Road Green Lake, WI 54941
920-294-6666 (Green Lake Office)
dlenz@generalengineering.net

SCALE: 1" = 60'

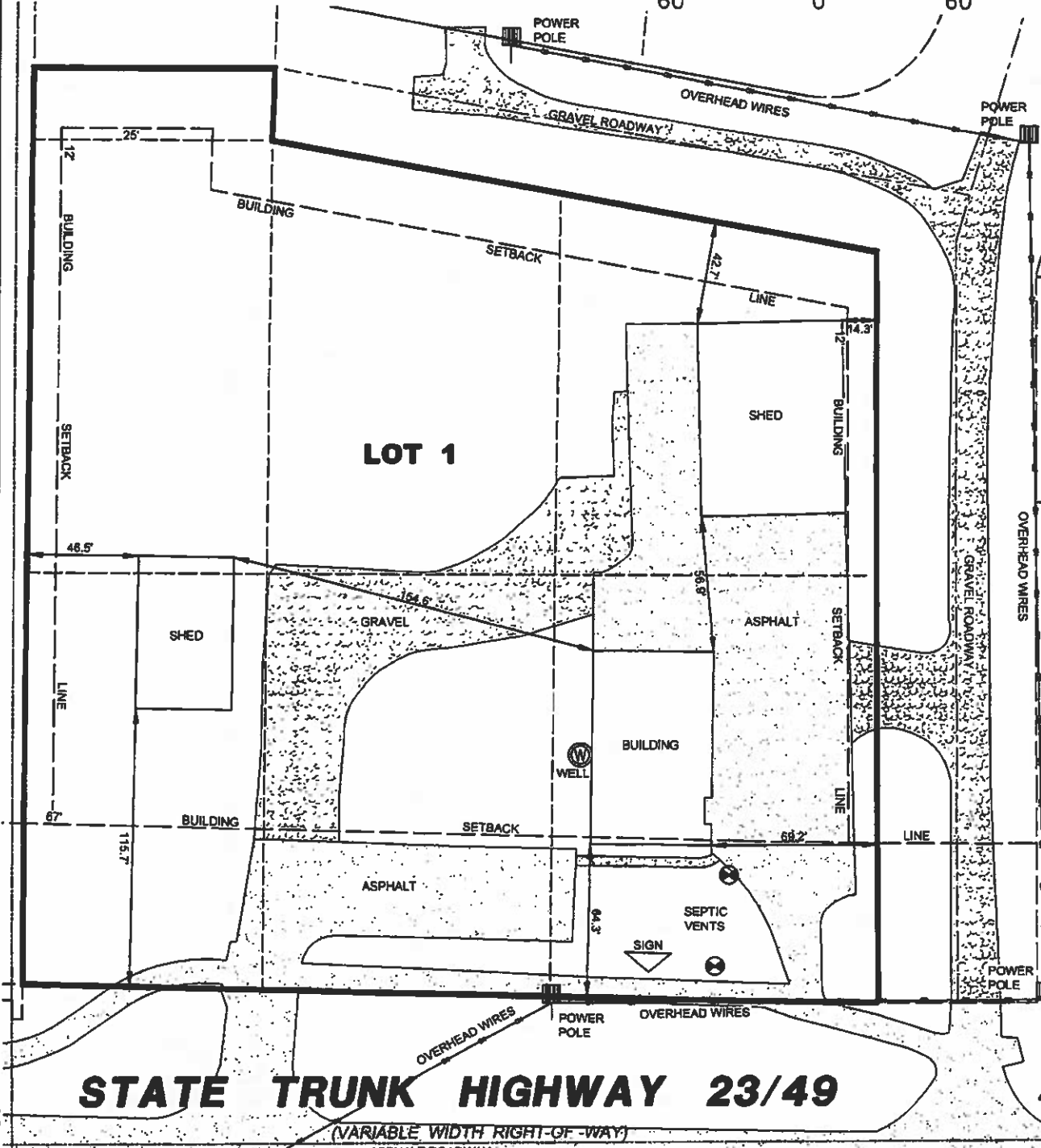


GREEN LAKE COUNTY

CERTIFIED SURVEY MAP 3995

VOLUME 24

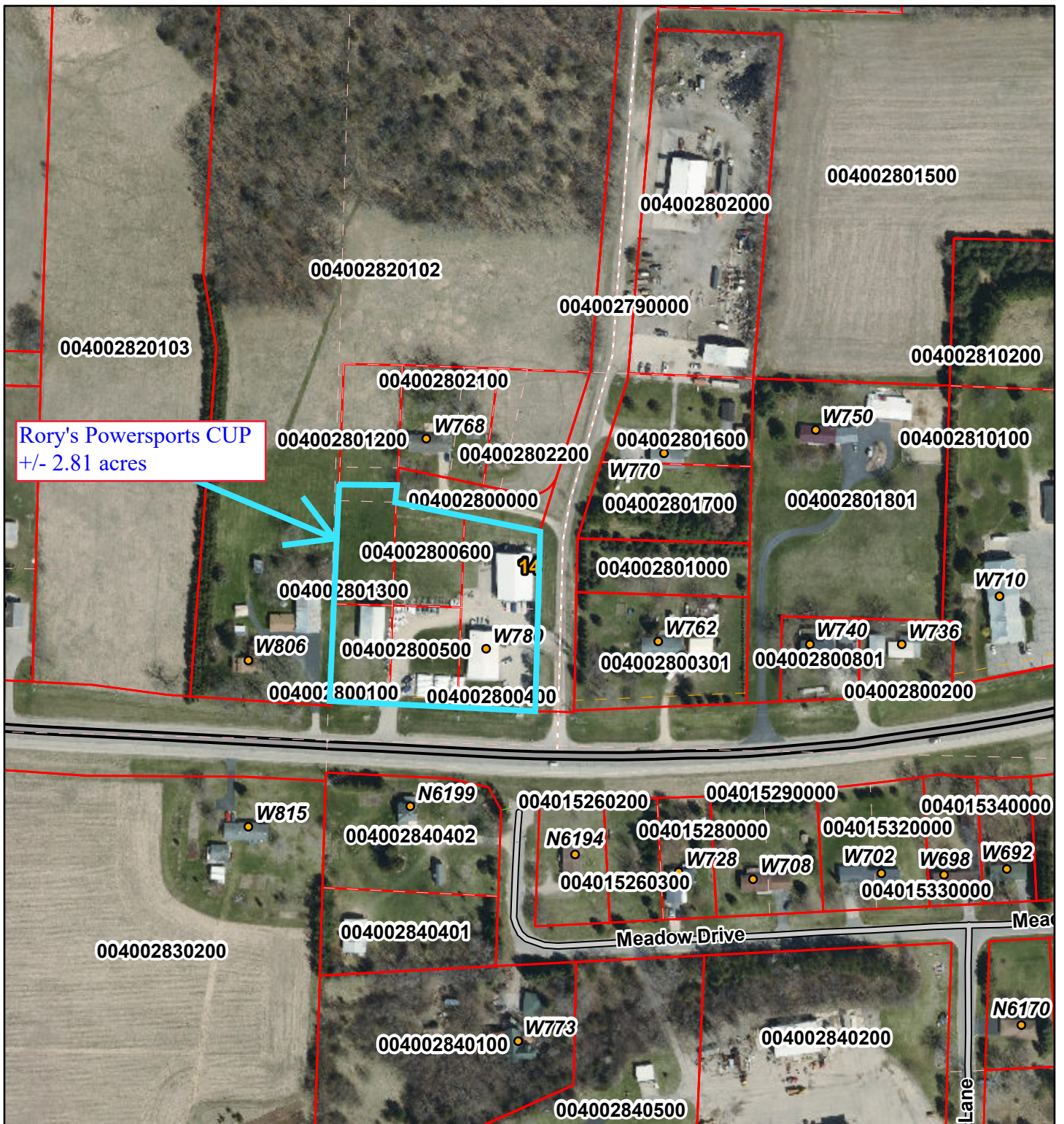
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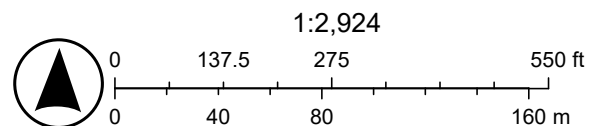
STATE TRUNK HIGHWAY 23/49

(VARIABLE WIDTH RIGHT-OF-WAY)
ASPHALT ROADWAY

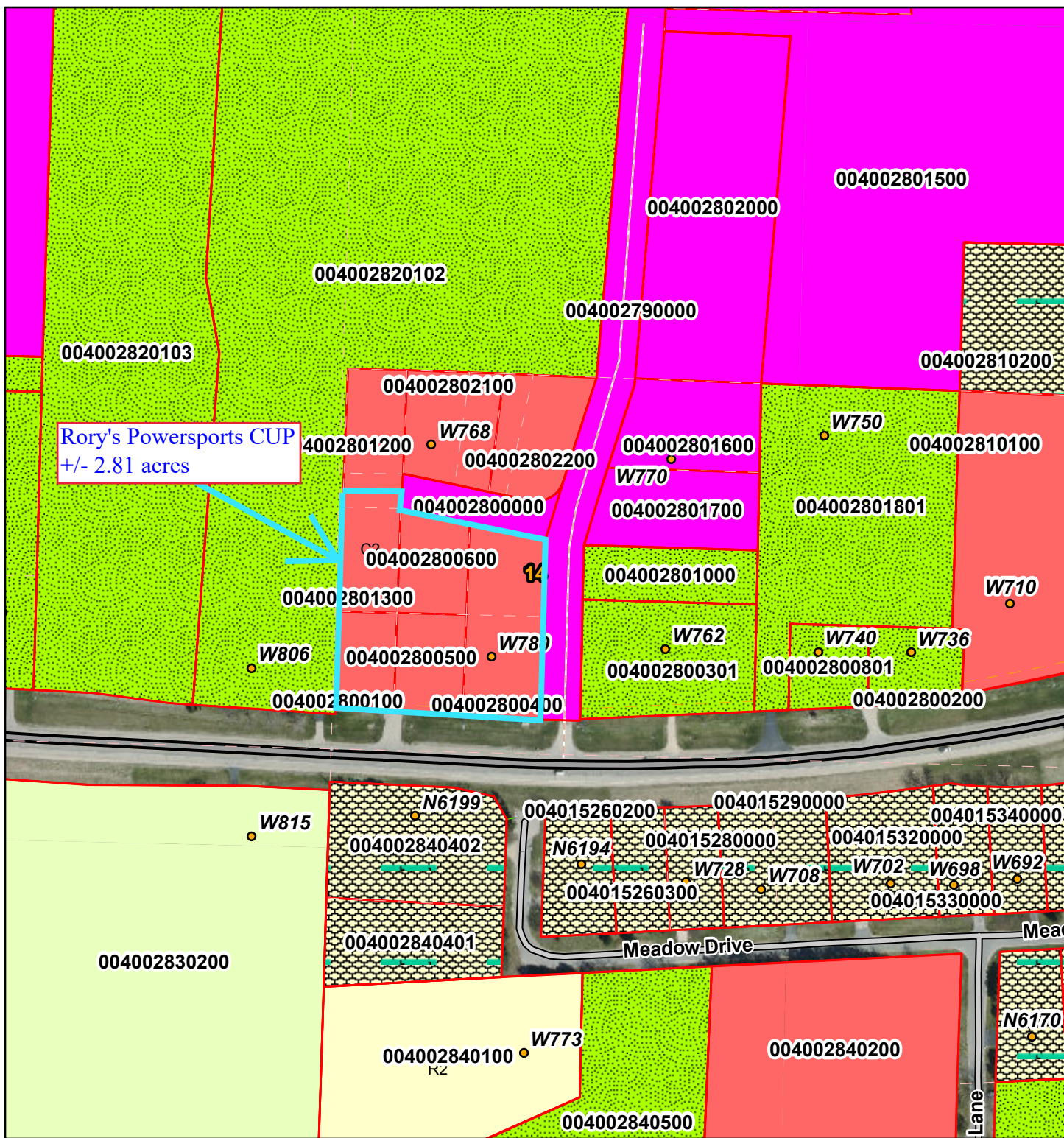
Rory's Powersports CUP Aerial Map



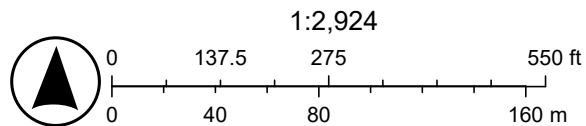
4/2/2025, 11:57:33 AM



Rory's Powersports CUP Zoning Map



4/2/2025, 12:05:08 PM



DETERMINATION OF THE LAND USE PLANNING AND ZONING COMMITTEE

Public Hearing Date: June 5, 2025

Owner: Rory's Powersports, LLC.

Agent: James Silloway

Parcels: #004-00280-0401, W780 State Road 23 & 49, Town of Brooklyn.

Request: Conditional Use Permit for a commercial building to be utilized for the storage, sales, and repair of wave runners.

Land Use Planning and Zoning Committee:

Chuck Buss, Chair

Sue Wendt

William Boutwell, Vice Chair

Curt Talma

Gene Thom

Date signed: June 5, 2025

Committee vote: Ayes ____ Nays ____ Abstain ____ Absent ____

☐ **Approve**

☒ **With the conditions (listed on page 2)**

☐ **Deny.**

☐ **Modify as follows:**

Conditions of Approval:

General Conditions:

1. That the owners/applicants are responsible for obtaining permits and licenses from any other regulatory agency, if required.
2. That the owner/applicant apply for and receive a Land Use Permit prior to making any changes authorized through this conditional use permit approval process.
3. Any outdoor lighting shall comply with Section 350-23 of the County Zoning Ordinance.
4. No additional expansion or addition of structures and/or uses relating to this conditional use permit shall occur without review and approval through future conditional use permit(s).

Item #2:

Owner(s): Mark & Kim Nowacki and Timothy Lind, **Location:** W270 White Ridge Road, **Parcel(s):** 002-00204-0200 & 002-00204-0300, **Legal Description:** SW ¼ of SE ¼, located in Section 12, T17N, R13E, Town of Berlin, ±21.469 acres, **Request:** The owners are requesting a rezone of ±3.022 acres zoned A2, General Agriculture District, to R4, Rural Residential District and a rezone of ±1.0 acres zoned A1, Farmland Preservation District, to A2, General Agriculture District. To be identified by Certified Survey Map.

LAND USE PLANNING AND ZONING COMMITTEE STAFF REPORT

PUBLIC HEARING

June 5, 2025

ITEM II: ZONING CHANGE

OWNER:

Kim and Mark Nowacki
Timothy E Lind

APPLICANT:

Kim and Mark Nowacki

REQUEST: The owner is requesting a zoning change of ±3.022 acres from A2, General Agriculture District to R4, Rural Residential District, and ±1 acres from A1, Farmland Preservation District, to A2, General Agriculture District. To be identified by certified survey map.

PARCEL NUMBER / LOCATION: The request affects parcel numbers 002-00204-0200 (±11.00 acres) and a portion of parcel number 002-00204-0300 (± 1 acre) . The parcels are located in the SW ¼ of the SE ¼ Section 12, T17N, R13E, Town of Berlin. The site address for the zoning change is W270 White Ridge Road.

EXISTING ZONING AND USES OF ADJACENT AREA: Parcel 002-00204-0300 is A-1, Farmland Preservation District. The parcel is used residentially. The current zoning of parcel 002-00204-0200 is A2, General Agricultural District. The property is utilized residentially. To the north and east of both parcels is a parcel owned by Green Lake County and is zoned NRC, Natural Resources Conservancy District. The parcel contains a portion of the Mascoutin Valley Recreation Trail. North and East of the Wick Trail the parcels are zoned A1, Farmland Preservation District. The parcels are mostly all wetlands and utilized for recreation. To the South of parcel 002-00204-0200, both parcels are zoned R4, Rural Residential District. One parcel is utilized residentially while the other is utilized as for agricultural production. To the West of parcel 002-00204-0300 the parcel is zoned A1, Farmland Preservation District. The parcel is utilized for agricultural production and for forest/wetlands.

ADDITIONAL INFORMATION / ANALYSIS: The area to be rezoned was originally the site of a farmstead since at least 1937. From 1966 until the 1990s various agricultural structures were documented to have been built on parcel 002-00204-0200. Both Parcels 002-00204-0200 and 002-00204-0300 contain lands that were previously under crop production. In 1996 the existing dwelling on parcel 002-00294-0300 was constructed. In 1997 the existing dwelling on parcel 002-00204-0200 was constructed. In the early 2000s the pond on lot 002-00204-0200 was constructed and several structures were removed from the parcel.

The intent of the rezone is to end up with three separate parcels. Lot 1 will be the Western portion of parcel 002-00204-0200 and will be approximately 3 acres. Lot 1 will be zoned R4, Rural Residential District and will be utilized residentially. Lot 2 will be the Eastern portion of parcel 002-00204-0200, the lot will also include one acre from the Southeastern portion of parcel 002-00204-0300. Lot 2 will be zoned A2, General Agriculture District. It is planned for relatives of the current property owner to construct a home on Lot 2 in the future. Lot 2 will have road access by means of an easement through lot 1. Lot 3 will contain the remnants of parcel 002-00204-0300 following it's split by means of Certified Survey Map. Lot 3 will contain approximately 9 acres and will remain zoned A1, Farmland Preservation

District. Lot 3 will continue its residential use. All resulting parcels will be compliant with their zoning district requirements.

Most of the area to be rezoned from A1, Farmland Preservation District to A2, Farmland Preservation District does not appear to have been utilized for agricultural production since at least 1937. There is an area less than a quarter acre that was potentially utilized for agricultural production since 1937. The area of parcel 002-00204-0300 to be rezoned from A1 to A2 contains two soil types, Urne loamy fine sand 12-30% slopes (UrD2) (± 0.6 acre) and Kidder fine sandy loam 6-12% slopes (KdC2) (± 0.5 acre). Urne loamy fine sand 12-30% slopes is a type 4 soil, while Kidder fine sandy loam 6-12% slopes is a type 3 soil.

Regarding the 3.022 acre rezone:

Rezoning Criteria Per §350-75.A.: Land may be rezoned if all of the following are found after public hearing: **(Staff comments in bold)**

The amendment is consistent with community land use plan (comprehensive plan). **The proposed rezone is consistent with the county's comprehensive plan as the R4 district was designed to be consistent with other agricultural zoning districts.**

The amendment will not be detrimental to property in the immediate vicinity or to the community as a whole. **The rezone has little potential to be detrimental to neighboring properties or properties abroad.**

The amendment will not have a significant adverse impact on the natural environment (i.e., air, water, noise, stormwater management, soils, wildlife, vegetation, etc.), or the impact could be mitigated by management practices on the site or in the immediate vicinity. **There is no indication that an adverse impacts on the natural environment will occur if the amendment were to be approved.**

The amendment will not have a significant adverse impact on the ability to provide adequate public facilities or services (i.e., highways, streets, water, sewage, drainage, schools, emergency services, etc.). **This rezone will not have a significant adverse effect on public facilities or services.**

The amendment allows a more viable transition to planned land uses on adjacent properties than the current zoning designation. **The amendment has no effect either way to planned land uses as the R4 and A2 districts are both agricultural in nature.**

The amendment will not result in inappropriate spot-zoning (i.e., use is inconsistent with surrounding properties and serves only a private, rather than public interests). **As there are several R4 parcels just across White Ridge Road and also within ½ mile, this rezone would not be considered spot—zoning.**

Regarding the +1.0 acre rezone:

Statutory Criteria Per 91.48(1): Land may be rezoned out of a farmland preservation zoning district if all of the following are found after public hearing: **(Staff comments in bold)**

- a) The land is better suited for a use not allowed in the farmland preservation zoning district.
Less than a quarter acre of the area to be rezoned has likely ever been utilized for crop

production since 1937. The land has primarily been utilized for open space or forest. Due to the slopes of the area to be rezoned, the site is not ideal for crop production due to erosion issues.

- b) The rezoning is consistent with any applicable comprehensive plan. **The proposed rezone is consistent with the county's comprehensive plan as it upholds the goals and objectives of the comprehensive plan, most prominently the goal to preserve the rural characteristic of the county. Section 350-28 of the County Zoning Ordinance states that "This agricultural district is intended to preserve and enhance land for agricultural uses"**
- c) The rezoning is substantially consistent with the county certified farmland preservation plan. **The overall goal of the county certified Farmland Preservation Plan is to maintain the integrity and viability of county agriculture...without damaging the economic and social environment or the natural resources..."** Due to A2's use not in conflict with agricultural lands and uses, it is staff's belief that the request does not negatively impact the integrity or viability of county agriculture and is, therefore, substantially consistent with the county's certified Farmland Preservation Plan.
- d) The rezoning will not substantially impair or limit current or future agricultural use of the surrounding parcels of land that are zoned for or are legally restricted to agricultural use. **The A2, General agriculture District is intended to preserve and enhance land for agricultural uses. The district will allow all agricultural uses allowed in the A1, Farmland Preservation District.**

TOWN OF BERLIN: An Action Form requesting the Town's input related to this zoning change request was sent to the Town Clerk. At their town board meeting on April 21, 2025, the Town Board did not object to and approved of the request.

TOWN BOARD ACTION

Dear Land Use Planning and Zoning Committee:

Please be advised that the Town Board of Berlin, County of Green Lake, took the following action on –
(Date) April 21, 2025.

Owner/Applicant: Owners: Mark & Kim Nowacki and Timothy Lind

Site Location: W270 White Ridge Road

General legal description: Parcels #002-00204-0200 & #002-00204-0300, Lands located in the SW1/4 of the SE1/4, Section 12, T17N, R13E, lying South of the Railroad R.O.W., Town of Berlin, ±21.469 acres.

Request: Rezone ±3.022 acres zoned A2, General Agriculture District, to R4, Rural Residential District. Rezone ±1.0 acres zoned A1, Farmland Preservation District, to A2, General Agriculture District. To be identified by Certified Survey Map.

Planned public hearing date for the above requests: June 5, 2025

X **Town Does Not object to and Approves of request**

 No action taken

 Objects to and requests denial of request

NOTE: If denial – please enclose Town Resolution of denial.

If no action taken – please include reason for inaction.

- Reason(s) for objection/inaction:

Brenda Muehly
Town Representative

4/21/25
Date Signed

NOTES: _____

Please return this form to the Land Use Planning & Zoning Office by: **May 23, 2025**

Please type or use black ink

Return to: Green Lake County
Planning & Zoning Department
571 County Road A
Green Lake, WI 54941
(920) 294-4156

GENERAL APPLICATION

Fee 375⁰⁰ (not refundable) Date 3/7/25
Zone Change from A2 to R4 for horse shed and 3.022 Acres
Conditional Use Permit for A1 to A2 for 1 Acre bought from Tim Lind. Please see back for details.
Other _____

PROPERTY OWNER / APPLICANT (1)

Name Kim Nowacki . Mark Nowacki.
Mailing Address W270 White Ridge Road, Berlin WI 54923
Phone Number 920 962-4402
Signature [Signature] Date 3/7/25

PROPERTY OWNER / APPLICANT (2)

Name Timothy E. Lind
Mailing Address W302 Whitescridge Rd Berlin
Phone Number 920-789-8553
Signature [Signature] Date 4/9/25

PROPERTY INFORMATION

Town of Berlin Parcel Number(s) 002002040200 + 002-00204-0300
Acres 11.393 Lot _____ Block _____ Subdivision _____
Section 12 Town 17N North Range 13 East
Location of Property W270 White Ridge Road, Berlin WI 54923
Legal Description Lot 1 certified survey map 2177 V9 Sec 12;
Exc those lands as desc in doc 420369. 11.393 Acres
(plus 1 Acre bought from Tim Lind on 2/28/25.)
Current Zoning Classification A2 - for new Acre Current Use of Property Some sheds, pasture,
pond, lawn, & marshland. New Acre is vacant/trees.

Detailed Description of Proposed Use of the 9.167 (A2) Acreage is selling/bleeding the land
to my son & his wife to build their retirement home. If rezoning is passed, this will
bring "the kids" home to the family land from living in CO for the past
20 years, and be nearby as I age and need more assistance. Thank you!

PLEASE PROVIDE A DETAILED SITE PLAN WITH THE APPLICATION

Fees: Zone Change \$375.00
Conditional Use Permit \$375.00
Special Exception \$375.00
Variance/Appeal \$375.00

PZZ-311 (12/03)

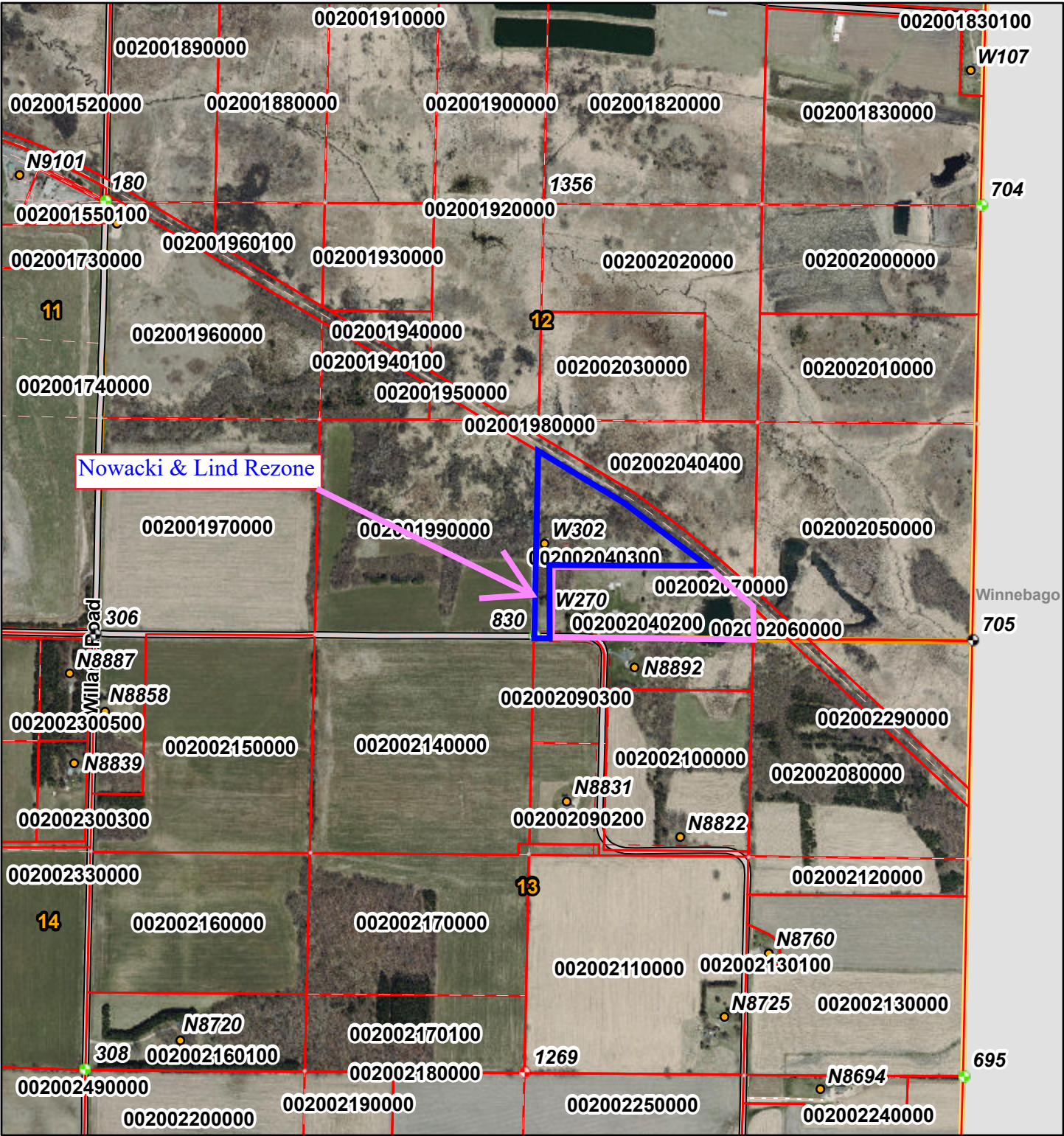
We would like to rezone from A2 to R4, the house, 1 shed with 3.022 Acres. The remaining 8.167 Acres - minus easement would stay in A2.

In addition: we would like to rezone from A1 to A2, the 1 Acre we bought from Tim Lind's 10.2760 Acreage on 2/28/25.

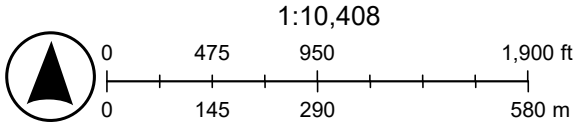
His property description is: SW 1/4 of the SE 1/4 sec 12 Lying S of RR R/W + ETC Lot 1 csm 2177 v9.

* Please see surveyor's map for locations of proposed changes. *

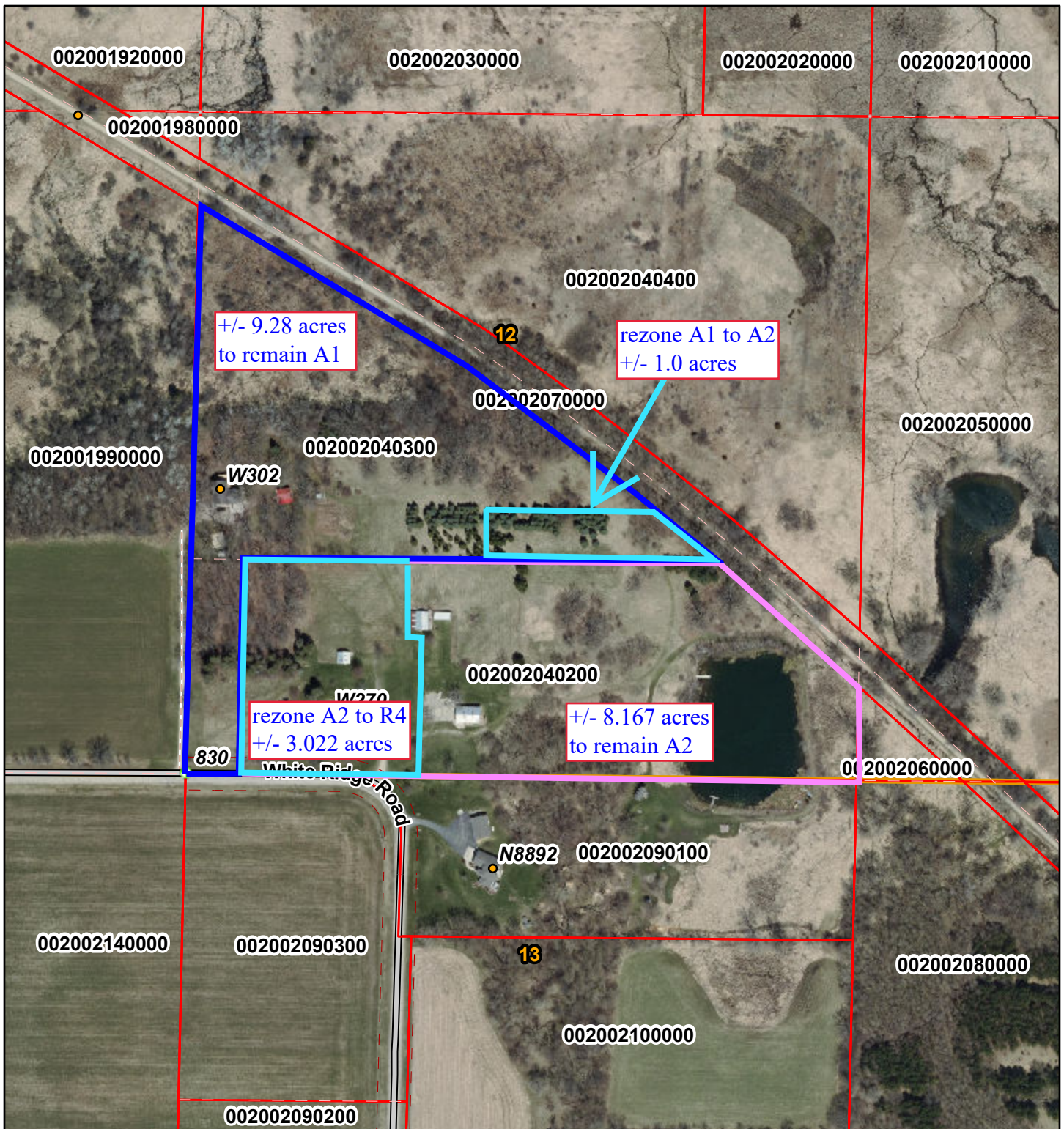
Nowacki & Lind Rezone Map



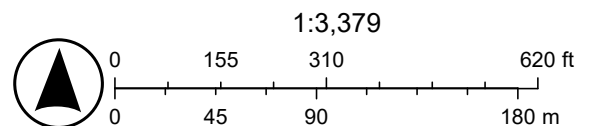
4/8/2025, 12:39:36 PM



Nowacki & Lind Rezone Aerial Map



4/9/2025, 10:10:28 AM



RE-ZONING EXHIBIT MAP

BEING A PART OF THE SW1/4 OF THE SE1/4, SECTION 12, T.17N.,
R.13E., TOWN OF BERLIN, GREEN LAKE COUNTY, WISCONSIN



MERIDIAN
SURVEYING, LLC



N9837 Friendship Drive
Kaukauna, WI 54130
Office: 920-993-0881
Fax: 920-273-6037

DRAWN BY: J.B.

CHECKED BY: C.A.K.

JOB NO.: 16069

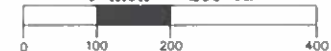
FIELD WORK
DATE: 2-18-25

FIELD BOOK: X

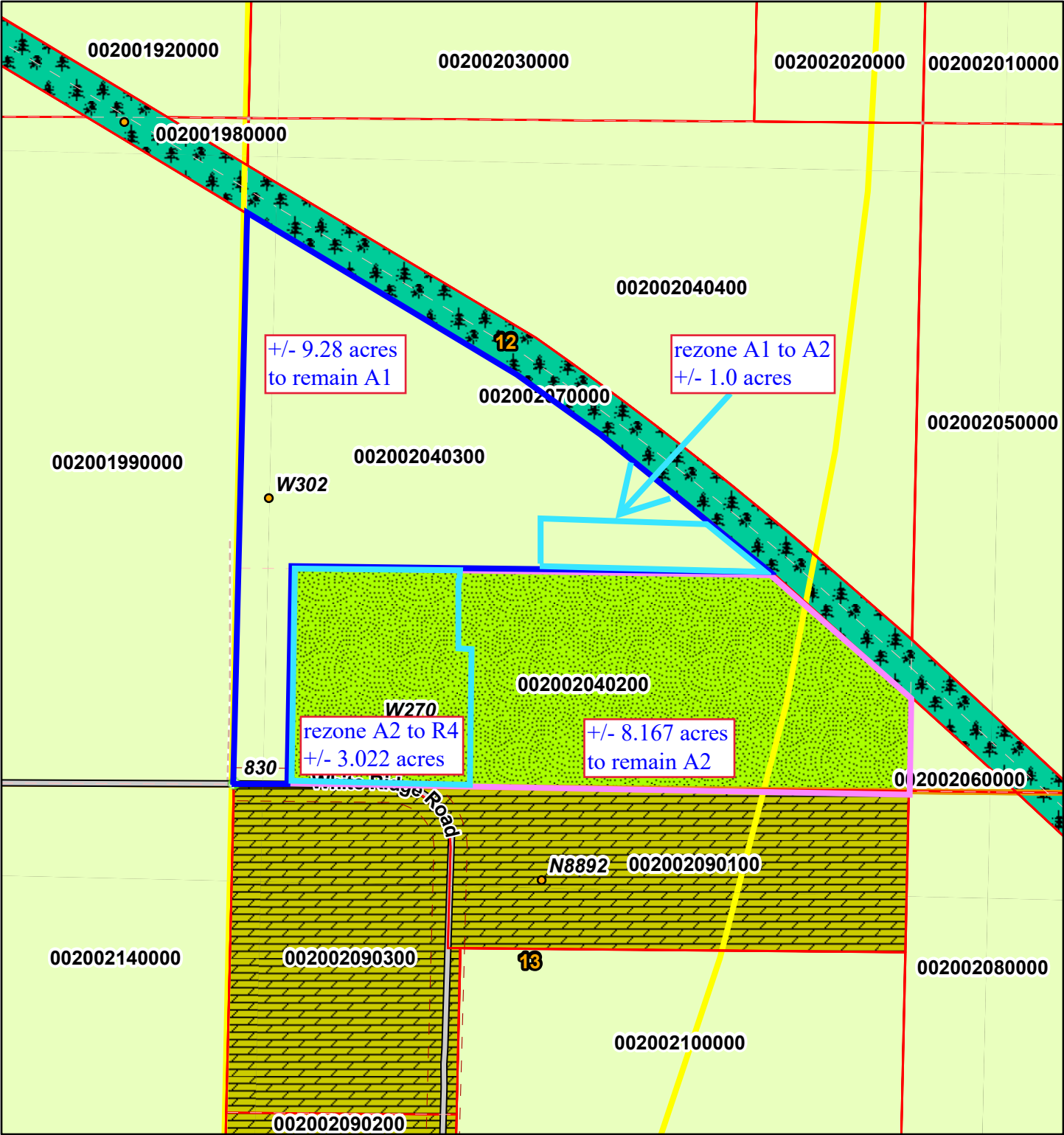
SHEET 1 of 1

SURVEYED FOR:
KIM NOWACKI
W270 WHITE RIDGE RD.
BERLIN, WI 54923

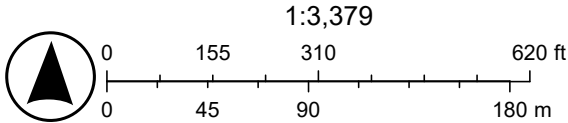
GRAPHIC SCALE
1 inch = 200 ft.



Nowacki & Lind Rezone Zoning Map



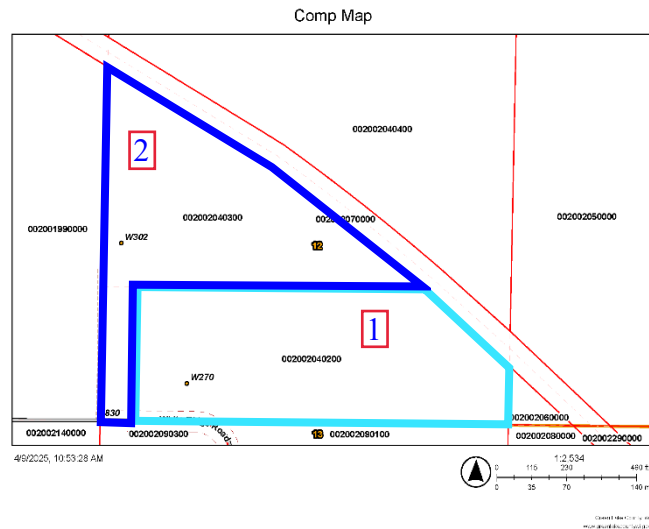
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Mark & Kim Nowacki and Timothy Lind
Town of Berlin
W270 White Ridge Road, Parcels #002-00204-0200 & #002-00204-0300
Lot 1 of CSM 2177 V9, Section 12, T17N, R13E

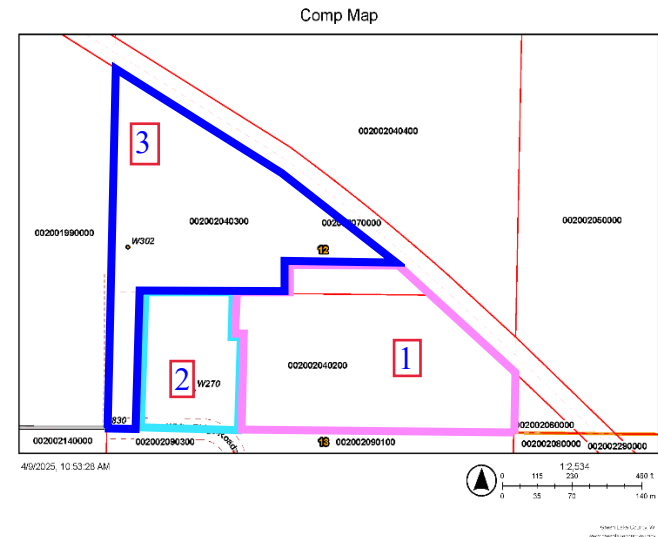
Existing Configuration

- 1 = ±11.189-acre parcel zoned A2, General Agriculture District
- 2 = ±10.28-acre parcel zoned A1, Farmland Preservation District



Proposed Configuration

- 1 = ±9.167-acre parcel zoned A2, General Agriculture District
- 2 = ±3.022-acre parcel zoned R4, Rural Residential District
- 3 = ±9.28-acre parcel zoned A1, Farmland Preservation District



Land Use Planning & Zoning Public Hearing 6/5/2025

ORDINANCE NO. -2025

**Relating to: Rezone in the Town of Berlin
Owner(s): Mark & Kim Nowacki and Timothy Lind**

The County Board of Supervisors of Green Lake County, Green Lake, Wisconsin, duly assembled at its regular meeting begun on the 17th of June 2025, does ordain as follows:

NOW, THEREFORE, BE IT ORDAINED that the Green Lake County Zoning Ordinance, Chapter 350 as amended, Article IV Zoning Districts, Section 350-26 Official Map, as relates to the Town of Berlin, shall be amended as follows:

Owner(s): Mark & Kim Nowacki and Timothy Lind, **Location:** W270 White Ridge Road, **Parcel(s):** 002-00204-0200 & 002-00204-0300. **Legal Description:** Part of SW ¼ of SE ¼, located in Section 12, T17N, R13E, Town of Berlin, ±21.469 acres. **Request:** The owners are requesting a rezone of ±3.022 acres zoned A2, General Agriculture District, to R4, Rural Residential District and a rezone of ±1.0 acres zoned A1, Farmland Preservation District, to A2, General Agriculture District. To be identified by Certified Survey Map.

BE IT FURTHER ORDAINED, that this ordinance shall become effective upon passage and publication.

Roll Call on Ordinance No. -2025

Submitted by Land Use Planning &
Zoning Committee:

Ayes , Nays , Absent , Abstain

Passed and Adopted/Rejected this 17th
Day of June 2025.

Chuck Buss, Chair

William Boutwell, Vice Chair

County Board Chairman

Sue Wendt

ATTEST: County Clerk
Approve as to Form:

Gene Thom

Jeffrey Mann, Corporation Counsel

Curt Talma

Item #3:

Owner: David W. Schmucker, **Location:** N844 Proscarian Road, **Parcel(s):** 012-00518-0000 & 012-00519-0000, **Legal Description:** NW $\frac{1}{4}$ of NW $\frac{1}{4}$, located in Section 27, T14N, R12E, Town of Manchester, ± 35.28 acres, **Request:** The owners are requesting a Conditional Use Permit for a non-agriculture related business.

Land Use Planning and Zoning Committee Staff Report

Public Hearing

June 5, 2025

Item III: Conditional Use Permit (CUP)

Owner:

David and Marlene Schmucker

Applicant:

Same as Owner

Request: The owner/applicant is requesting a conditional use permit for a storage building.

Parcel Number/ Location: The request affects parcel 012-00519-0000 (±14 acres). The parcel is located in the NW ¼ of the NW ¼ of Section 27, T14N, R12E, Town of Manchester. The site address is N844 Proscarian Road.

Existing Zoning and Uses of Adjacent Area: The parcel 012-00519-0000 is zoned A-1, Farmland Preservation District. The property is for a variety of uses including; residentially, livestock keeping, forest land, and the small manufacturing business proposed in this CUP. The parcel contains ± 2 acres of wetlands, as well as an unnamed navigable stream (WBIC 161300) that runs through the property. This parcel falls under shoreland zoning jurisdiction. The parcels to the North and South are zoned A-1, Farmland Preservation District. The parcels are utilized for crop production. The parcels to the West are zoned A-2, General Agriculture District. The parcels are used for agricultural crop production, forest land, and residentially. To the East the adjacent parcel under the same ownership is Zoned A-1, Farmland Preservation District. The parcel is utilized for pastureland. To the East the adjacent property under different ownership is zoned A-2, General Agriculture. The parcel is utilized residentially and for keeping of livestock.

Additional Information/Analysis: The parcel was home to a farm residence, several outbuildings, and farm fields since at least 1937. Since then, its use has primarily been agriculturally related. In 2021 the property owner obtained a land use permit to build an 80 ft x 48 ft workshop for the farm. Following the construction of the workshop; the property owner without a conditional use permit, began a light manufacturing business. Since 2021 the property owner has operated this unpermitted business year-round building structures such as chicken coops, deer blinds, sheds, and other projects as contracted. The property owner has maintained their existing agricultural and residential uses on the property in addition to the light manufacturing business.

General Standards for Review of Conditional Use Requests: It is important that the Committee maintain the purpose and intent of the County Zoning Ordinance when reviewing and approving a request of this nature. The Committee shall take into consideration, among other things, the recommendation of the affected town and the particular facts and circumstances of each proposed use in terms of the standards found in Section 350-56 "Review of permit application; standards and conditions" of the County Zoning Ordinance. The Committee need

not consider requirements that would apply to the local Town, other County, State or Federal entities of jurisdiction.

County Staff Comments: This request should be reviewed by the Committee to determine if it meets the general criteria for review as cited above. If the Committee wishes to approve this request, the following conditions may be appropriate:

1. That the owners/applicants are responsible for obtaining permits and licenses from any other regulatory agency, if required.
2. That the owner/applicant apply for and receive a Land Use Permit prior to making any changes authorized through this conditional use permit approval process.
3. No additional expansion or addition of structures and/or uses relating to this conditional use permit shall occur without review and approval through future conditional use permit(s).
4. The landowner shall have the building inspected by a commercial building inspector.
5. The primary use of the structure utilized in the CUP must be an agricultural use as defined in chapter 350-27.
6. No outside storage of materials related to this conditional use permit shall be permitted.

Town of Manchester: The Town Board Action request for the Conditional Use Permit was sent to the Town Clerk. At their town board meeting on April 14th, 2025, the Town of Manchester did not object to and approved of the request.



TOWN BOARD ACTION

Dear Land Use Planning and Zoning Committee:

Please be advised that the Town Board of Manchester, County of Green Lake, took the following action on –
(Date) 4/14/2025

Owner/Applicant: Owner: David W. Schmucker

Site Location: N844 Proscarian Road

General legal description: Parcels #012-00518-0000 & 012-00519-0000, NW ¼ of NW ¼, located in Section 27, T14N, R12E, Town of Manchester, ±35.28 acres

Request: CUP Application from David W. Schmucker, for a family-run manufacturing business.

Planned public hearing date for the above requests: June 5, 2025

☒ **Town Does Not object to and Approves of request**

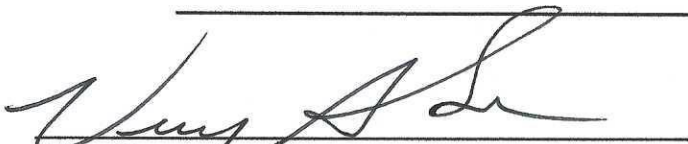
☐ **No action taken**

☐ **Objects to and requests denial of request**

NOTE: If denial – please enclose Town Resolution of denial.

If no action taken – please include reason for inaction.

- Reason(s) for objection/inaction:


Town Representative

4/14/2025
Date Signed

NOTES: PLEASE KEEP US IN THE LOOP AS DOCUMENTS ARE COMPLETED.

Please return this form to the Land Use Planning & Zoning Office by: **May 23, 2025**



Land Use Planning & Zoning Department

County Government Center
571 County Road A
Green Lake, WI 54941-8630

Phone 920-294-4156 Website: <http://www.co.green-lake.wi.us/>

Land Development Code Enforcement County Surveyor GIS Land Information

APPLICATION FOR CONDITIONAL USE PERMIT WITHIN A-1 FARMLAND PRESERVATION DISTRICT

The purpose of the conditional use permit process is to utilize the minimum review standards of the zoning ordinance (Green Lake County Code Chapter 350, Section 56) to determine the effect of the proposed use on the neighborhood and suitability of proposed development at the proposed location. Conditions are added to the request to minimize any impacts to the surrounding properties, if the request is consistent with the adopted Green Lake County Comprehensive Plan. This application is specific to the A-1 Farmland Preservation District and properties that have less than two conditional use permits.

Prior to the Department accepting the application, the following items need to be completed and/or provided by the owner or applicant:

- ☐ Consultation with the staff in the Land Use Planning & Zoning Department
- ☐ Application completely filled out, including property information, legal description, and Operational Plan Narrative (see below).
- ☐ Detailed site plan on paper not larger than 11" x 17", drawn to scale and including location of: lot lines, all building and structures with dimensions, all components of private onsite wastewater treatment systems like septic tanks and drain fields, public and private roads including access easements, navigable waterbodies, well location, and the setback distances between all the above
- ☐ Narrative or other supporting documents that show productive agricultural uses of the parcel
- ☐ Fee as set by the Committee for a public hearing item

OPERATIONAL PLAN NARRATIVE

The operational plan is intended to address all components of the proposed use, from establishment through to present operation. This narrative should be two or more paragraphs that address the following questions, from the perspective of the proposed use:

- What is the history of the use and/or applicant?
- What is the history of the property and its current use?
- Describe in detail the proposed use of the property.
- If applicable, include an operation and/or maintenance plan.
- When will the property be used? (Seasonally? Set daily hours?)
- What will be done with the current structures, if any?
- Will any new structures be built? If yes, how will they be used and where will they be located?
- What hazards, concerns, or disruptions may your proposed use pose to neighboring properties and the community as a whole? How can those concerns be addressed?
- What will be done to protect the human and environmental health of the surrounding area from negative impacts of this use?
- Why was this property chosen for this activity? How will this use benefit the community by being located on this specific property?

- How would this activity meet goals and objectives of the County's Comprehensive Plan? (This will be clear after meeting with Department staff prior to submitting the Conditional Use Permit application, as required above.)

CIRCUMSTANCES OF A FARM NARRATIVE

A narrative describing the circumstances of a farm is used to maintain consistency with the Farmland Preservation Plan set forth by Green Lake County Code Chapter 295 and the A-1 Farmland Preservation District (Green Lake County Code Chapter 350-27). This narrative should address the following questions with relevant documents or explanations:

- Does the property follow the definition of a farm?
 - "All land under common ownership that is primarily devoted to agricultural use"
- Does the farm provide income or livelihood for the applicant?
- Has the farm been approved of other Conditional Use Permits?
 - If so, explain in detail what they were and when.
 - A property is allowed two CUPS whether agriculture-related or nonagriculture-related.
- Is a farm residence already established on the same parcel as the business, activity, or enterprise?
- Is the farm at least 8 acres in area?

Fee Received (Non-Refundable) 375.00

Date 2-21-25

By signing and submitting this completed application with public hearing fee, the applicant or agent requests the Land Use Planning & Zoning Committee consider the conditional use permit request at the next available public hearing.

PROPERTY OWNER / APPLICANT

Name David and Marlene Schmucker

Mailing Address N844 Proscarian Road

Phone Number _____ Email _____

Signature David W. Schmucker Date 2-21-25

AGENT IF OTHER THAN OWNER

Name _____

Mailing Address _____

Phone Number _____ Email _____

Signature _____ Date _____

PROPERTY INFORMATION

Town of Manchester Location of Property NW 1/4 of the NW 1/4

Section 27 Town 14 N Range 12 E

Affected Parcel Number(s) 012-00518-0000 and 012-00519-0000 Affected Acres _____

Subdivision _____ Lot _____ Block _____

CSM _____ Lot _____ or COS _____

Legal Description _____

NW1/4 OF THE NW1/4 SEC 27 EXC CSM 1521 & EXC CSM 3019 LYING THEREIN

Current Zoning Classification A-1 Farmland Preservation

Present Use of Property: (List all current uses and improvements, i.e. home, store, farm field, wooded, etc.)

Resident - Farmland is used for pasture
for Horses - Cattle and sheep. 5 acres is
wooded.

PROPOSAL - Use separate or additional sheet(s) IF necessary

If this application is for a use that will be contained to a part of the parcel, specify the exact dimensions of the affected area. 48'x80' structure

☐ If this box is checked, provide the following information:

Proposed use has additional minimum development standards in Section _____.

Explain how your proposal meets or exceeds these requirements.

OPERATIONAL PLAN NARRATIVE

History of property currently owned by David W. and Marlene Schmucker, mostly lower land but used primarily for pasture for Horses - Cattle - and Sheep. In 2021 we built shop and started family business of manufacturing structures such as Chicken - Coops Hunting Blinds - etc. And is still what we do today.

We operate year round.

We run 5-days a week 9hrs a day. Shop will stay as is, no new structures added at this time.

Am not aware of any hazards concerns or disruptions to any neighboring properties.

In fact neighbor's love to come in and spend time with us, In favor to what we do.

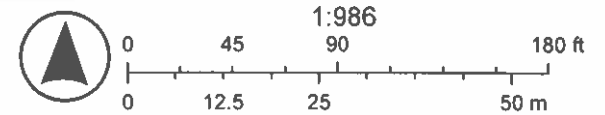
This property was chosen for this activity because Dad wanted to be home and work with his family.



N844 Proscarian Road CUP



1/30/2025, 8:56:33 AM





Legend: (some map layers may not be displayed)

- Well Inventory
- PLSS Township & Range
- PLSS Sections
- PLSS Quarter-quarter Sections

Notes:

Shed for business



Map: 0 125 250 Feet
0 30 60 Meters

This map is a product generated by a DNR web mapping application.

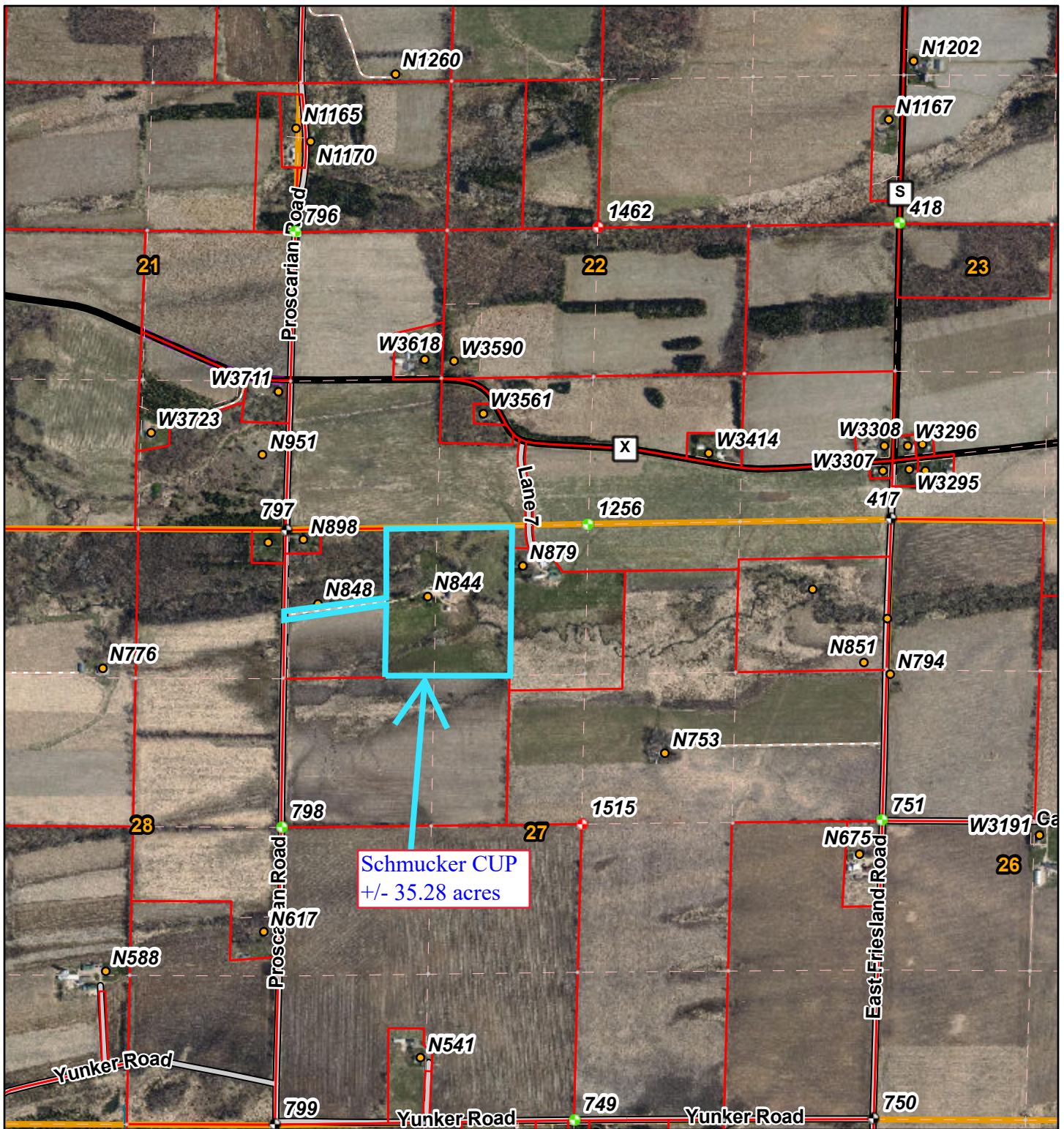
This map is for informational purposes only and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. The user is solely responsible for verifying the accuracy of information before using for any purpose. By using this product for any purpose user agrees to be bound by all disclaimers found here <https://dnr.wisconsin.gov/legal>

Service Layer Credits:
Special Casing Areas: Wisconsin Department of Natural Resources - Environmental Management Private Wells, RR Program Data: Wisconsin Department of Natural Resources, Environmental Management Division - Bureau of Remediation and Redevelopment, EN Image Basemap Latest Leaf On: Well Inventory: Wisconsin Department of Natural Resources, 1,200-Foot Landfill Buffer: Wisconsin Department of Natural Resources - Environmental Management Private Wells, Basemap: Township, Range & Section: WI DNR

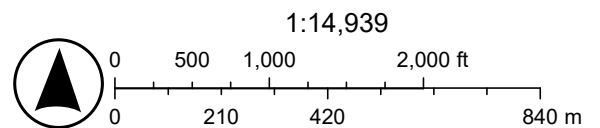
Date Printed: 3/6/2025 3:09 PM



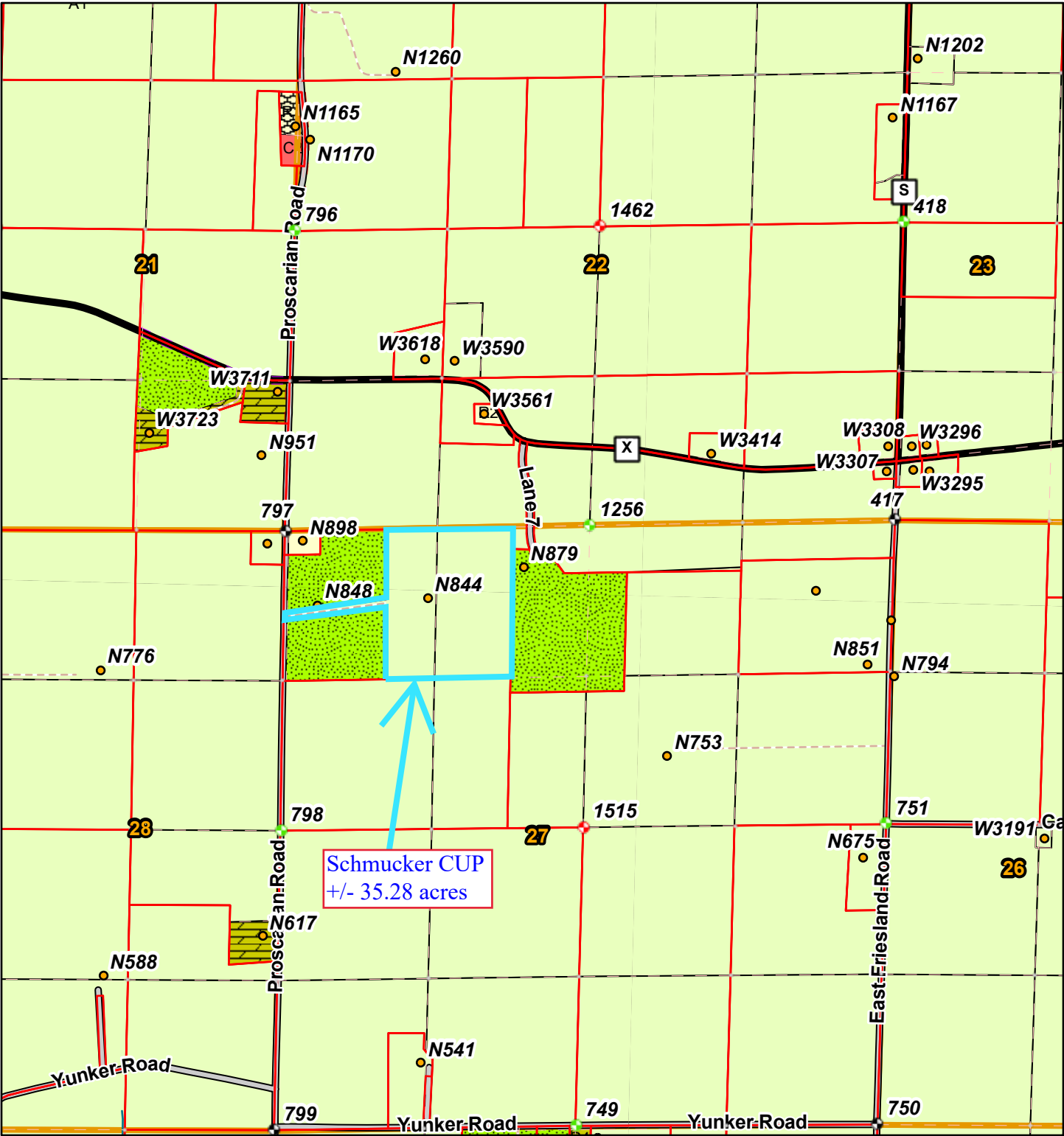
Schmucker CUP Aerial Map



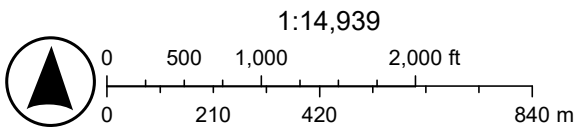
4/3/2025, 12:08:17 PM



Schmucker CUP Zoning Map



4/3/2025, 12:31:52 PM



DETERMINATION OF THE LAND USE PLANNING AND ZONING COMMITTEE

Public Hearing Date: June 5, 2025

Owner: David W. Schmucker

Agent: same

Parcels: #012-00518-0000 & 012-00519-0000, N844 Proscarian Road, Town of Manchester.

Request: Conditional Use Permit for a non-agriculture related business.

Land Use Planning and Zoning Committee:

Chuck Buss, Chair

Sue Wendt

William Boutwell, Vice Chair

Curt Talma

Gene Thom

Date signed: June 5, 2025

Committee vote: Ayes ____ Nays ____ Abstain ____ Absent ____

☐ **Approve**

☒ **With the conditions (listed on page 2)**

☐ **Deny.**

☐ **Modify as follows:**

Conditions of Approval:**General Conditions:**

1. That the owners/applicants are responsible for obtaining permits and licenses from any other regulatory agency, if required.
2. That the owner/applicant apply for and receive a Land Use Permit prior to making any changes authorized through this conditional use permit approval process.
3. No additional expansion or addition of structures and/or uses relating to this conditional use permit shall occur without review and approval through future conditional use permit(s).
4. The landowner shall have the building inspected by a commercial building inspector.
5. The primary use of the structure utilized in the CUP must be an agriculture use as defined in chapter 350-27.
6. No outside storage of materials related to this conditional use permit shall be permitted.

Item #4:

Owner: MNJ Development, LLC., **Agent:** Michael Monohan, **Location:** Eastridge Drive,
Parcel: 002-00855-0000, **Legal Description:** SW $\frac{1}{4}$ of SW $\frac{1}{4}$, located in Section 2, T17N, R13E,
Town of Berlin, \pm 1.68 acres, **Request:** The owners are requesting a Conditional Use Permit for a
17-Unit Storage Building.

Land Use Planning and Zoning Committee Staff Report

Public Hearing

June 5, 2025

Item IV: Conditional Use Permit (CUP)

Owner:

MNJ Development LLC

Applicant:

Michael Monohan

Request: The owner/applicant is requesting a conditional use permit for a storage building.

Parcel Number/ Location: The request affects parcel 002-00855-0000 (±1.6 acres). The parcel is located in the SW ¼ of the SW ¼ of Section 2, T17N, R13E, Town of Berlin.

Existing Zoning and Uses of Adjacent Area: The parcel 002-00855-0000 is zoned C-2, Extensive Commercial District. The property is currently vacant with only a retention pond in the Northeastern corner. To the West and East, the adjacent parcels are zoned C-2, Extensive Commercial District. The parcel to the West contains three storage unit buildings built between 2020-2022. The two parcels to the East are both vacant. To the North the parcel is zoned A-1, Farmland Preservation District. This parcel is used for agricultural crop production. To the south across Eastridge Drive, there is a parcel zoned R-3, Multi Family Residential District. This parcel contains an 8-unit apartment building constructed in 2021. The other parcel to the south is zoned C-2, Extensive Commercial District and is vacant.

Additional Information/Analysis: The property was a farm field from at least 1937 until 2006. In 2006 the farm field was subdivided into the EastRidge Subdivision and Eastridge Drive was established. The lot has been vacant aside from a retention pond since the subdivision was established.

The owner intends to construct a 17-unit storage building and a gravel parking lot/driveway adjoining the building. The owner constructed an identical 240 ft x 50 ft storage building on parcel 002-00850-0100 in 2023. The owner will be resubmitting a near identical copy of the old building plans for a new State review. A copy of the previous plans has been included so the committee is aware of what will be built if the CUP is approved.

General Standards for Review of Conditional Use Requests: It is important that the Committee maintain the purpose and intent of the County Zoning Ordinance when reviewing and approving a request of this nature. The Committee shall take into consideration, among other things, the recommendation of the affected town and the particular facts and circumstances of each proposed use in terms of the standards found in Section 350-56 "Review of permit application; standards and conditions" of the County Zoning Ordinance. The Committee need not consider requirements that would apply to the local Town, other County, State or Federal entities of jurisdiction.

County Staff Comments: This request should be reviewed by the Committee to determine if it meets the general criteria for review as cited above. If the Committee wishes to approve this request, the following conditions may be appropriate:

1. That the owners/applicants are responsible for obtaining permits and licenses from any other regulatory agency, if required.
2. That the owner/applicant apply for and receive a Land Use Permit prior to making any changes authorized through this conditional use permit approval process.
3. Any outdoor lighting shall comply with Section 350-23 of the County Zoning Ordinance.
4. No additional expansion or addition of structures and/or uses relating to this conditional use permit shall occur without review and approval through future conditional use permit(s).

Town of Berlin: The Town Board Action request for the Conditional Use Permit was sent to the Town Clerk. At their April 21st, 2025, town board meeting, the Town of Berlin did not object to and approved of the request.

TOWN BOARD ACTION

Dear Land Use Planning and Zoning Committee:

Please be advised that the Town Board of Berlin, County of Green Lake, took the following action on –
(Date) April 21, 2025.

Owner/Applicant: Owner: MNJ Development, LLC., Agent: Michael Monohan

Site Location: Eastridge Drive

General legal description: Parcel #002-00855-0000, SW ¼ of SW ¼, located in Section 2, T17N, R13E, Town of Berlin, ±1.68 acres

Request: CUP Application from MNJ Development, LLC., for a 17-Unit Storage Building.

Planned public hearing date for the above requests: June 5, 2025

X Town Does Not object to and Approves of request

 No action taken

 Objects to and requests denial of request

NOTE: If denial – please enclose Town Resolution of denial.

If no action taken – please include reason for inaction.

- Reason(s) for objection/inaction:

Brenda Muehly
Town Representative

4/21/25
Date Signed

NOTES: It was noted that the Conditional approval by DSPS was outdated and for their previous building (storage unit).

Please return this form to the Land Use Planning & Zoning Office by: **May 23, 2025**



Land Use Planning & Zoning Department

County Government Center
571 County Road A
Green Lake, WI 54941-8630

Phone 920-294-4156 Website: <http://www.greenlakecountywi.gov>

Land Development Code Enforcement County Surveyor GIS Land Information

APPLICATION FOR CONDITIONAL USE PERMIT

The purpose of the conditional use permit process is to utilize the minimum review standards of the zoning ordinance (Green Lake County Code Chapter 350, Section 56) to determine the effect of the proposed use on the neighborhood and suitability of proposed development at the proposed location. Conditions are added to the request to minimize any impacts to the surrounding properties, if the request is consistent with the adopted Green Lake County Comprehensive Plan.

Prior to the Department accepting the application, the following items need to be completed and/or provided by the owner or applicant:

- ☐ Consultation with the staff in the Land Use Planning & Zoning Department
- ☐ Application completely filled out, including property information, legal description, and detailed description of proposed use
- ☐ Detailed site plan on paper not larger than 11" x 17", drawn to scale and including location of: lot lines, all building and structures with dimensions, all components of private onsite wastewater treatment systems like septic tanks and drain fields, public and private roads including access easements, navigable waterbodies, well location, and the setback distances between all the above
- ☐ Fee as set by the Committee for a public hearing item

OPERATIONAL PLAN NARRATIVE

The operational plan is intended to address all components of the business, from establishment through to present operation. This narrative should be two or more paragraphs that address the following questions, from the perspective of the proposed use:

- What is the history of the business and/or applicant?
- What is the history of the property and its current use?
- Describe in detail the proposed use of the property.
- If applicable, include an operation and/or maintenance plan.
- When will the property be used? (Seasonally? Set daily hours?)
- What will be done with the current structures, if any?
- Will any new structures be built? If yes, how will they be used and where will they be located?
- What hazards, concerns, or disruptions may your proposed use pose to neighboring properties and the community as a whole? How can those concerns be addressed?
- What will be done to protect the human and environmental health of the surrounding area from negative impacts of this use?
- Why was this property chosen for this business activity? How will this use benefit the community by being located on this specific property?
- How would this business activity meet goals and objectives of the County's Comprehensive Plan? (This will be clear after meeting with Department staff prior to submitting the Conditional Use Permit application, as required above.)

Fee Received (Non-Refundable) 375.00

Date 3-25-2025

By signing and submitting this completed application with public hearing fee, the applicant or agent requests the Land Use Planning & Zoning Committee consider the conditional use permit request at the next available public hearing.

PROPERTY OWNER / APPLICANT

Name MNS Development

Mailing Address N. 9357 EAST RIDGE DR. UNIT 1, BERLIN WI 54923

Phone Number 920.573.3648 Email MNSDEVELOP@OUTLOOK.COM

Signature [Signature] Date 3-25-2025

AGENT IF OTHER THAN OWNER

Name Michael Monohan

Mailing Address SAO

Phone Number SAO Email SAO

Signature [Signature] Date 3-25-2025

PROPERTY INFORMATION

Town of BERLIN Location of Property SW 1/4 of the SW 1/4

Section 2 Town T17 N Range R13 E

Affected Parcel Number(s) 002008550000 Affected Acres 1.6

Subdivision EAST RIDGE Lot 9 Block _____

CSM _____ Lot _____ or COS _____

Legal Description Lot 9 of East Ridge Subdivision

Current Zoning Classification C2

Present Use of Property: (List all current uses and improvements, i.e. home, store, farm field, wooded, etc.)

VACANT LAND

PROPOSAL - Use separate or additional sheet(s) IF necessary

Describe **specifically** the nature of this request (List all proposed uses of the parcel.) What do you plan to do? _____

STORAGE UNITS

If this application is for a use that will be contained to a part of the parcel, specify the exact dimensions of the affected area. _____

☐ If this box is checked, provide the following information:

Proposed use has additional minimum development standards in Section _____
Explain how your proposal meets or exceeds these requirements.

OPERATIONAL PLAN NARRATIVE

WE CONSTRUCT THIS STYLE OF BUILDING 6
WE PUT 54 UNITS IN THE AREA

VACANT LAND

17 UNIT STORAGE BUILDING 13'-50"-16'

247

SEE SITE PLAN FOR LOCATION

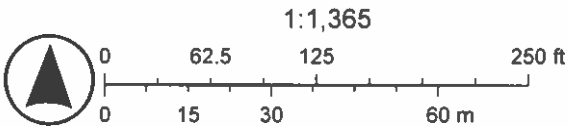
NO HAZARDS

CLOSE TO BUT EXISTING COMPLEX

002-00855-0000 Site Plan



3/25/2025, 2:15:21 PM





November 21, 2022

AARON HALBERG
HALBERG ENGINEERING LLC
10335N DUFFY RD
HAYWARD, WISCONSIN 54843

Identification Numbers

Plan Review No.: CB-112202134-PRB

Application No.: DIS-102251575

Site ID No.: SIT-108505

Please refer to all identification numbers in each correspondence with the Department.

CONDITIONAL APPROVAL

PLAN APPROVAL EXPIRES: 11/21/2024

CODE APPLIES: 10/17/2022

MUNICIPALITY:

TOWN OF BERLIN

GREEN LAKE COUNTY

SITE:

MNJ DEVELOPMENTS

OFF EAST RIDGE DRIVE - LOT 3, WEST OF DMV

BERLIN, WI 54923

FOR:

OFF EAST RIDGE DRIVE - LOT 3, WEST OF DMV

Object Type: Building

Building Name.: 50x240 Maxi Storage Bldg

Major Occupancy: S-1 - Storage Moderate-Hazard

Class of Construction: VB - Combustible Unprotected Construction

Building Review Type: New Building

Plan Type: Full/Complete Building

Total Floor Area in Sq Ft: 12,000

Sprinklered Type: None

Occupancy: None

Structural Components Included in Review: truss, roof

SITE REQUIREMENTS

- Contact both the State Inspector and the local municipality PRIOR to the start of construction.
- A full size copy of the approved plans, specifications and this letter shall be on-site during construction and open to inspection by authorized representatives of the Department, which may include local inspectors. If plan index sheets were submitted in lieu of additional full plan sets, a copy of this approval letter and index sheet shall be attached to plans that correspond with the copy on file with the Department. If these plans were submitted in an electronic form, the designer is responsible to download, print, and bind the full size set of plans along with our approval letter. A Department electronic stamp and signature shall be on the plans which are used at the job site for construction.

The following conditions shall be met during construction or installation and prior to occupancy or use:

KEY ITEMS:

- **SPS 361.31** - These plans were conditionally approved electronically. The designer is responsible to download the plans, print out complete sets and permanently bind each set of the conditionally approved electronic plans, along with a complete bound set of specifications, as submitted to the Dept., for reference in the field. Plans for field reference shall be the same size

and scale as originally submitted to the Dept. per SPS 361.31(2)(a), and per SPS 361.31(2)(d) shall be clear and legible. A complete bound conditionally approved set of plans and set of specifications shall be made available to a Dept. representative on-site upon request. There shall be an electronic stamp and signature on the index page of the conditionally approved plans by the Dept. representative that conditionally approved the plans, as well as the professional of the project if the building is over 50,000 cubic ft. Additionally, a copy of the conditional approval letter issued by the Dept. shall be permanently attached to each of the conditionally approved plan sets.

- **SPS 361.31(2)** - Lighting plans, including both Emergency Egress (IBC) & Energy Conservation (IECC), are no longer required to be submitted to the department for review and approval. However, the requirements in both codes must still be met. One (1) set of plans, calculations and/or fixture cut-sheets with all items stamped and signed by a WI registered professional as required by SPS 361.20 & 361.31(1) shall be on-site and made available to inspection by the Department or its authorized representative.

REMINDERS:

- **IBC 1108.3** - Self-service storage facilities shall provide accessible individual self-service spaces in accordance with Table 1108.3, with a minimum 5% of the total to be accessible. Accessible individual self-service storage spaces shall be dispersed throughout the various classes of spaces provided. A storage space is considered accessible if there is any one of the following: 1) a swing door with a minimum 32" clearance and 6 ft 8 inch height; 2) an electric garage door opener is installed for use with an overhead door; or 3) the overhead door meets the opening force maximums of IBC 1010.1.3, and has accessible hardware.
 - **IBC 2902.1** - Since this building lacks toilet facilities, it is approved as unoccupied storage only.
 - **IECC C402.1.1** - This building is approved as an unheated storage building. Should the owner wish to heat or cool this building at a future time, building alteration plans shall be required to be submitted and conditionally approved. The plans shall demonstrate building envelope compliance. After such action, HVAC plans would then be required to be submitted and conditionally approved prior to HVAC equipment installation.
 - **SPS 361.36(1)(a) & (b)** - The building shell shall be closed within two years of the initial approval date of this project. Also, this approval will expire three years after the date of initial approval of this project if the work covered by this approval is not completed and the building ready for occupancy within those three years.
-
- The submittal described above has been reviewed for conformance with applicable Wisconsin Administrative Codes and Wisconsin Statutes. The submittal has been **CONDITIONALLY APPROVED**. The owner, as defined in chapter 101.01(10), Wisconsin Statutes, is responsible for compliance with all code requirements. Only those object types listed above have been approved; other submittals such as plumbing and those listed above under **REQUIRED SUBMITTAL(S)**, may also be required.
 - All permits required by the state or the local municipality shall be obtained prior to commencement of construction/installation/operation. You are responsible for complying with state and federal laws concerning construction near or on wetlands, lakes, and streams.
 - This plan has not been reviewed for compliance with fire code requirements, including those for fire lanes and fire protection water supply, so contact the local fire department for further information.
 - In granting this approval, the Division of Industry Services reserves the right to require changes or additions, should conditions arise making them necessary for code compliance. As per state stats 101.12(2), nothing in this review shall relieve the designer of the responsibility for designing a safe building, structure, or component. The Division does not take responsibility for the design or construction of the reviewed items.
 - Per s. SPS 361.40(4), projects for buildings of over 50,000 cubic feet total volume shall have supervising professionals who file compliance statements with this agency and the local code officials prior to occupancy of the project. Compliance statements shall be filed online at <https://esla.wi.gov/PortalCommunityLogin>.

Inquiries concerning this correspondence may be made to me at the contact information listed below, or at the address on this letterhead.

Sincerely,



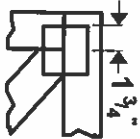
Mark A Piquette
Building Plan Reviewer
Phone: 262-574-2121
Email: mark.piquette@wisconsin.gov

cc:

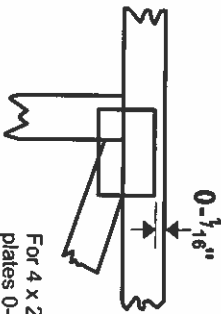
BRIAN NOE, DIS INSPECTOR, 920-420-4796, BRIAN.NOE@WISCONSIN.GOV
BRENDA MURKLEY, MUNICIPAL CLERK, 2623610540, TOWN003@CENTURYTEL.NET
JAMES SILLOWAY, MNJ DEVELOPMENT

Symbols

PLATE LOCATION AND ORIENTATION



Center plate on joint unless x, y offsets are indicated. Dimensions are in ft-in-sixteenths. Apply plates to both sides of truss and fully embed teeth.



For 4 x 2 orientation, locate plates 0- 1/16\" from outside edge of truss.

—
—
This symbol indicates the required direction of slots in connector plates.

* Plate location details available in **MITek 20/20** software or upon request.

PLATE SIZE

4 X 4

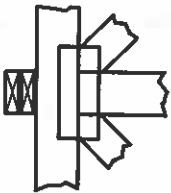
The first dimension is the plate width measured perpendicular to slots. Second dimension is the length parallel to slots.

LATERAL BRACING LOCATION



Indicated by symbol shown and/or by text in the bracing section of the output. Use T or I bracing if indicated.

BEARING



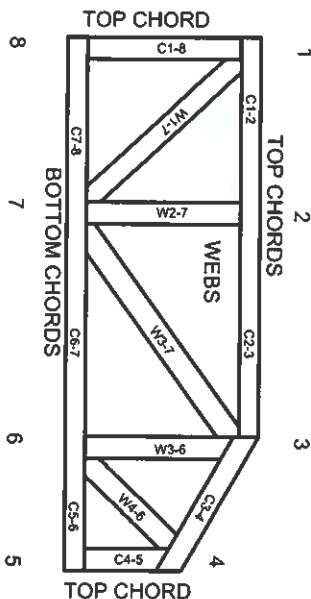
Indicates location where bearings (supports) occur. Icons vary but reaction section indicates joint number where bearings occur. Min size shown is for crushing only.

Industry Standards:

ANSI/TPI1: National Design Specification for Metal Plate Connected Wood Truss Construction.
DSB-89: Design Standard for Bracing.
BCSI: Building Component Safety Information, Guide to Good Practice for Handling, Installing & Bracing of Metal Plate Connected Wood Trusses.

Numbering System

6-4-8
dimensions shown in ft-in-sixteenths
(Drawings not to scale)



JOINTS ARE GENERALLY NUMBERED/CLOCKWISE AROUND THE TRUSS STARTING AT THE JOINT FARTHEST TO THE LEFT.

CHORDS AND WEBS ARE IDENTIFIED BY END JOINT NUMBERS/LETTERS.

PRODUCT CODE APPROVALS

ICC-ES Reports:

ESR-1311, ESR-1352, ESR1988
ER-3907, ESR-2362, ESR-1397, ESR-3282

Trusses are designed for wind loads in the plane of the truss unless otherwise shown.

Lumber design values are in accordance with ANSI/TPI 1 section 6.3 These truss designs rely on lumber values established by others.

© 2012 MITek® All Rights Reserved

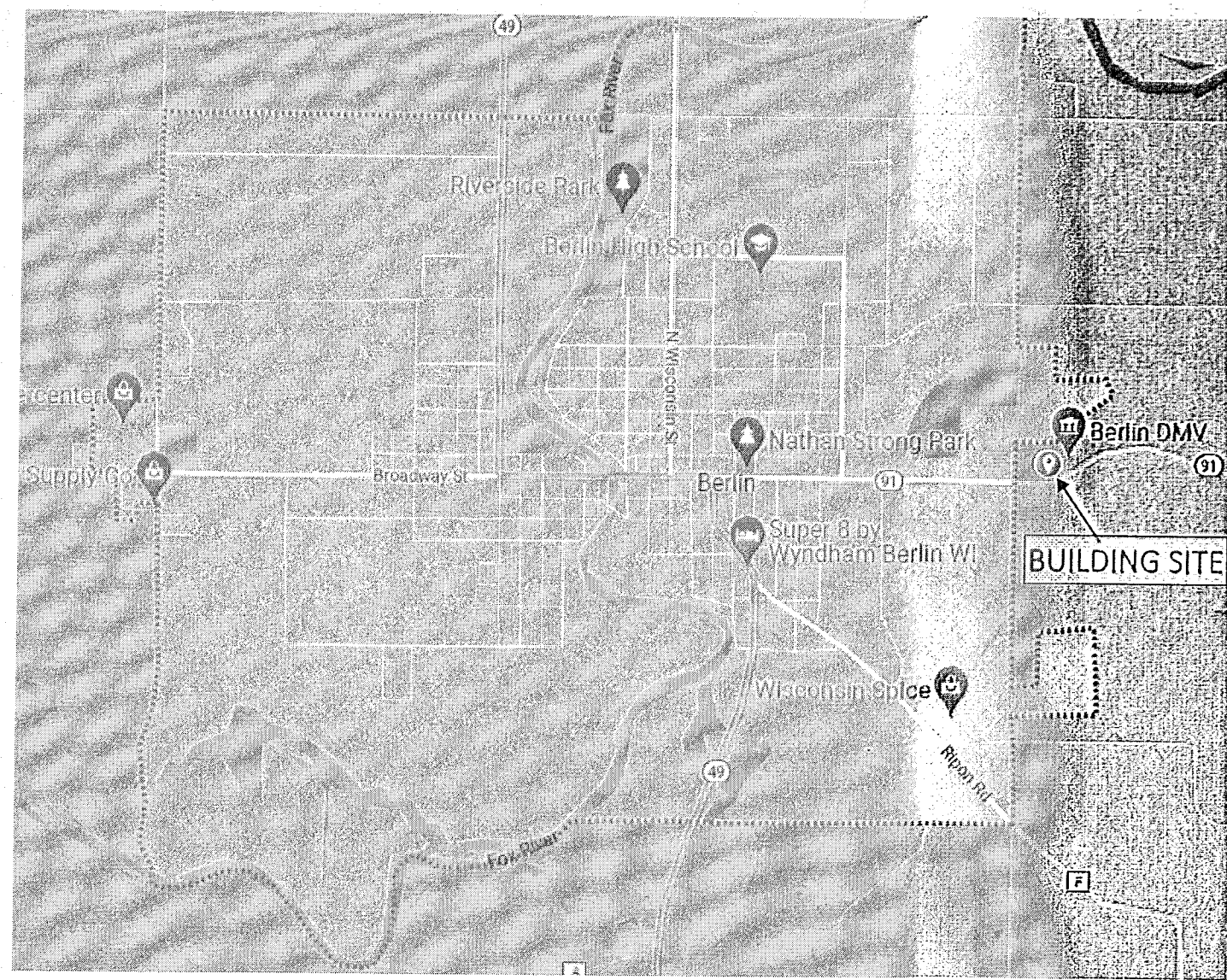


MITek Engineering Reference Sheet: MII-7473 rev. 5/19/2020

General Safety Notes

Failure to Follow Could Cause Property Damage or Personal Injury

1. Additional stability bracing for truss system, e.g. diagonal or X-bracing, is always required. See BCSL.
2. Truss bracing must be designed by an engineer. For wide truss spacing, individual lateral braces themselves may require bracing, or alternative Tor I bracing should be considered.
3. Never exceed the design loading shown and never stack materials on inadequately braced trusses.
4. Provide copies of this truss design to the building designer, erection supervisor, property owner and all other interested parties.
5. Cut members to bear tightly against each other.
6. Place plates on each face of truss at each joint and embed fully. Knots and wane at joint locations are regulated by ANSI/TPI 1.
7. Design assumes trusses will be suitably protected from the environment in accord with ANSI/TPI 1.
8. Unless otherwise noted, moisture content of lumber shall not exceed 19% at time of fabrication.
9. Unless expressly noted, this design is not applicable for use with fire retardant, preservative treated, or green lumber.
10. Camber is a non-structural consideration and is the responsibility of truss fabricator. General practice is to camber for dead load deflection.
11. Plate type, size, orientation and location dimensions indicated are minimum plating requirements.
12. Lumber used shall be of the species and size, and in all respects, equal to or better than that specified.
13. Top chords must be sheathed or purins provided at spacing indicated on design.
14. Bottom chords require lateral bracing at 10 ft. spacing, or less, if no ceiling is installed, unless otherwise noted.
15. Connections not shown are the responsibility of others.
16. Do not cut or alter truss member or plate without prior approval of an engineer.
17. Install and load vertically unless indicated otherwise.
18. Use of green or treated lumber may pose unacceptable environmental, health or performance risks. Consult with project engineer before use.
19. Review all portions of this design (front, back, words and pictures) before use. Reviewing pictures alone is not sufficient.
20. Design assumes manufacture in accordance with ANSI/TPI 1 Quality Criteria.
21. The design does not take into account any dynamic or other loads other than those expressly stated.



Project Name: MNJ Mail Description: 50'x240'x15' Mail

Construction Class: VB Wood Frame, Unprotected Building Height (as defined in IBC): 30' Allowed: 40'

Building Element Fire Rating Requirement (in hours) based on Construction Classification (IBC Table 601):

Structural Frame: 0' Interior Walls: 0' Floor Construction: 0' Roof Construction: 0' Exterior Walls: 0' ** Also subject to Table 602 requirements below

Stories: 1 Sprinkler: Threshold (ft): 12000

Occupancy: 12000 sq ft Fire Area: 12000 sq ft

Base Area Limit: 12000 sq ft

Frontage Increase Calculation (see IBC 506.3.2):

Additional Sections Available (if needed) include Frontage Increase Calculation and 2nd Building Area Calculations

Frontage Increase Calculation based on Weighted Average Calculations (see IBC 506.3.2):

Weighted Avg W (W) = (L1 x w1) / F = 30

Frontage Width (W) is defined as the distance, measured at right angles from the face of the wall to the nearest interior lot line, the face of a street (for alley or public way), the face of a building on the same lot.

Table 602 Requirements for Fire Rated Construction based on FSD:

Table 602 Requirements for Fire Rated Construction based on FSD:

Table 602 Requirements for Fire Rated Construction based on FSD:

Roof Snow Loads to be used in Load Combinations for Truss and Building Design:

I Balanced Snow Load (Ps) Over entire roof at once: 30 psf

II Unbalanced Snow Load Analysis required for this project: No

Unbalanced Snow Load Analysis Required: No

Other Truss Design Information: Normal Truss Spacing: 7.00 ft

Project Information to determine snow loads listed above:

Roof Pitch (inches per foot): 3/12

Roof Surface: Other (see ASCE 7, 7.7.4)

Ground Snow Load, Pg: 35 psf

Snow Exposure Factor, Ce: 1.0

Thermal Condition Factor, Ct: 1.2

Snow Load Importance Factor, I: 1.0

Flat Roof Snow Load, Ps = 0.7 x Ce x I x Pg: 29.4 psf

Roof Slope Factor, Cs: 1.0

Wall Roof Width (ridge to eave), Lr: 27.0 ft

Building Length, L: 244.0 ft

Snow Density, S: 18.5 pcf

Snow Drift Analysis Required at High / Low condition (per ASCE 7-10, Section 7.7.1.1): No

Building Design Wind Loads

Based upon ASCE 7-10, Chapters 26, 28, and 30 - Simple Procedure for Low-rise buildings, Part 1 - Specified Equations

Least Horizontal Dimension: 50 ft

Eave Height: 17.00 ft

Edge Slope Width (a): 5.00 ft

End Zone Width (a2): 10.00 ft

Velocity Pressure (Low Profile uses qz throughout) - Low-rise, rigid building assumptions

Exposure (B/C): C

Kz: 0.30

qz: 16.00 psf

Basic Wind Speed, V: 115 mph

Mean roof height (h): 20.13 ft

Sidewall Column Spacing: 7 ft

Any Overhang: Yes

Pressure reported at 15m (50 ft) level (roof conditions will reduce by 0.6 factor for ASD calculations)

Windward Wall (Zone 1): 12.4 / -17.9 / 11.3 / -9.7 / 18.8 / -27.8 / -14.5

Minimum Pressure (Zone 4): 16.0 / 8.0 / 0.0 / 0.0 / 16.0 / 8.0 / 0.0 / 0.0

Load Case B - External Pressure Coefficients by Zone (refer to ASCE 7-10, Figure 28.4-1)

Windward Wall (Zone 1): 0.8 / -0.6 / -0.4 / -0.3 / -0.45 / 0.45 / -0.2 / -1.0 / -0.5 / -0.5

qz * GCp (psf): 12.4 / -17.9 / 11.3 / -9.7 / 18.8 / -27.8 / -14.5

Minimum Pressure (Zone 4): 16.0 / 8.0 / 0.0 / 0.0 / 16.0 / 8.0 / 0.0 / 0.0

Internal Pressure Coefficient (Zone 1 and 2): 0.18

Pressure on Windward Eave (Zone 4): 16.0 / 8.0 / 0.0 / 0.0 / 16.0 / 8.0 / 0.0 / 0.0

Pressure on Windward Eave (Zone 4): 16.0 / 8.0 / 0.0 / 0.0 / 16.0 / 8.0 / 0.0 / 0.0

Design Focus: Project-specific comments

General Information: Risk Category = Normal Occupied Building

Concrete Compressive Strength (fc') = 28 day minimum strength: 3500 psi

Roof Dead Loads: TCdead Top Chord Dead Load: 4.0 psf

BCdead Bottom Chord Dead Load: 5.0 psf

1603.1.3 Roof Snow Load Data: Ground Snow Load (Pg) = Meets or exceeds ASCE 7 value: 35.0 psf

Snow Exposure Factor (Ce) = 1.0

Snow Load Importance Factor (I) = Based on Risk Category above: 1.0

Thermal Factor (Ct) = 1.2

Flat Roof Snow Load (Ps) = 0.7 x Ce x I x Pg: 29.4 psf

Sloped Roof Factor (Cs) = Slippery assumption may be invalid: 1.0

Balanced Roof Snow Load (Ps) = Cs x Pg (or greater): 30.0 psf

Unbalanced Roof Snow Load = (Windward / Leeward): Not Required

See Detailed Snow Load Sheet for more details

1603.1.4 Wind Design Data: Basic Wind Speed = ASCE 7-10 speed in Strength / Ultimate: 115 mph

Wind Exposure = Presumed to apply in All Directions: C

Building Enclosure Type = Enclosed: 44.7

Internal Pressure based on Enclosure Type (qz * GCp): -23.4 / -44.2 / -67.6 psf

Maximum C&C Pressure in Roof Zones 1 / 2 / 3 (qz * GCp): -23.4 / -44.2 / -67.6 psf

Maximum C&C Pressure in Wall Zones 4 / 5 (qz * GCp): -28.6 / -36.4 psf

1603.1.5 Earthquake Design Data: Seismic Importance Factor Ie = Based on Risk Category above: 1.0

Mapped spectral response parameters: Maximum Value for Zip Code: S1 = 8.3%

S2 = 3.7%

S3 = 8.9%

S4 = 5.9%

Seismic Design Category = A

Basic Seismic Force-Resisting System = A15 - Light-frame walls with shear panels (other)

Seismic Response Coefficient = C1 = 0.044

Response Modification Coefficient = R = 2

Effective Seismic Weight = Dead Load x Area: W = 108,000 lbs

Design Base Shear = V = C1 x W: V = 4,781 lbs

Analysis Procedure Used = Equivalent Lateral Force Procedure

1603.1.6 Geotechnical Information: Class of Soil Materials = Presumed in absence of soils test: 4

Allowable Soil Pressure = 2000 psf

1603.1.7 Flood Hazard Information: Not Considered

1603.1.8 Special Loads: Not Applicable

1603.1.9 Special Seismic Inspections: None Required

Conditionally
APPROVED
DEPT. OF SAFETY AND PROFESSIONAL
SERVICES
DIVISION OF INDUSTRY SERVICES

SEE CORRESPONDENCE

Building
New
DIS-102251575
CB-112202134-PRB
11/21/2022

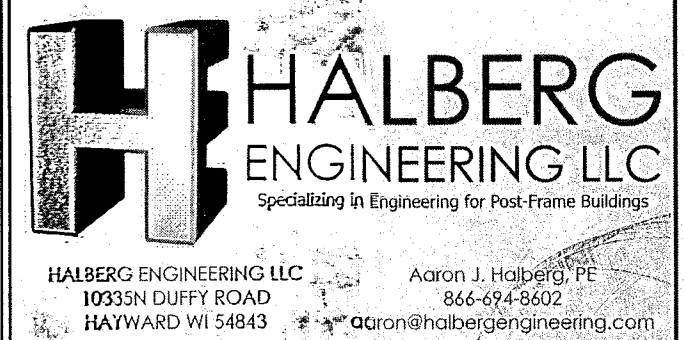
Building is located in the
Town of Berlin,
Green Lake County,
Wisconsin



SITE LAYOUT
SCALE: 1" = 30'-0"

NEW BUILDING FOR: MNJ DEVELOPMENT TOWN OF BERLIN, WISCONSIN

DESIGN PROFESSIONAL:



Engineering Scope: Building Design
for IBC 2015 / SPS 361/362
compliance

Aaron J. Halberg
Professional Engineer
October 17, 2022
ENGINEER'S SEAL

SHEET INDEX

SHEET NO.	DATE	CONTENTS
SHEET 1 OF 5	10/17/22	- GENERAL BUILDING SPECS, SITE LAYOUT
SHEET 2 OF 5	10/17/22	- BUILDING ELEVATIONS
SHEET 3 OF 5	10/17/22	- FLOOR PLAN, CONCRETE PLAN
SHEET 4 OF 5	10/17/22	- BUILDING SECTION, DETAILS
SHEET 5 OF 5	10/17/22	- BUILDING SECTION, DETAILS

GENERAL REQUIREMENTS

NOTES & DETAILS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER THESE GENERAL NOTES. ALL MATERIALS AND WORK PERFORMED SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST EDITION OF THE WISCONSIN ADMINISTRATIVE CODE INCLUDING LOCAL ORDINANCES AND AMENDMENTS. ALL MATERIAL SHALL BE FURNISHED AS SHOWN HEREIN UNLESS THE OWNER OR ENGINEER APPROVES EQUAL ALTERNATIVES. NO CHANGES ARE TO BE MADE TO THESE PLANS WITHOUT THE KNOWLEDGE AND WRITTEN CONSENT OF THE ENGINEER.

THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE AND DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, INCLUDING, BUT NOT LIMITED TO BRACING AND SHORING. OBSERVATION VISITS TO THE SITE BY THE ENGINEER AND/OR THE ENGINEER'S REPRESENTATIVE(S) SHALL NOT INCLUDE INSPECTION OF THE PROTECTIVE MEASURES OR THE CONSTRUCTION PROCEDURES.

ALL WORK GOVERNED BY STATE AND LOCAL CODES, ORDINANCES, AND REGULATIONS WHEREVER THEY MAY APPLY. DESIGNERS LIABILITY TO THE PREPARATION OF THE DRAWINGS WITH THE PARAMETERS CONTRACTED, AND ASCERTAINING CODE COMPLIANCE.

EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY. THE CONTRACTOR MUST CHECK ALL STRUCTURAL DETAILS AND DIMENSIONS, AND BE RESPONSIBLE FOR THE SAME.

THIS DRAWING AND ITS COPIES ARE THE COPYRIGHT OF THE DESIGN PROFESSIONAL, AND MAY NOT BE USED FOR PROJECTS OTHER THAN THE DESIGNATED PROJECT WITHOUT THE SPECIFIC WRITTEN CONSENT OF HALBERG ENGINEERING, LLC

PROVIDE FIRE EXTINGUISHERS PER IFC 906. FIRE EXTINGUISHERS SHALL BE SELECTED, INSTALLED AND MAINTAINED IN ACCORDANCE WITH IFC 906 AND NFPA 10.

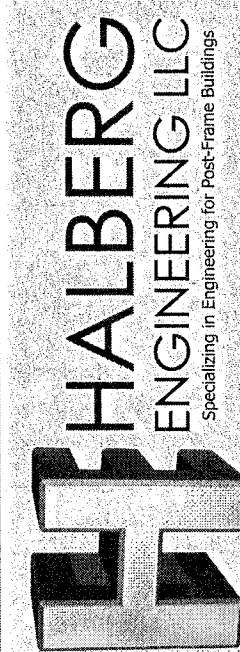
HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERABLE PARTS ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE HARDWARE SHALL BE PLACED AT LEAST 34 INCHES, BUT NOT MORE THAN 48 INCHES ABOVE THE FLOOR SURFACE.

DOORS
THERE SHALL BE A FLOOR OR LANDING PROVIDED ON EACH SIDE OF THE DOOR. SUCH FLOOR OR LANDING TO BE AT THE SAME ELEVATION ON EACH SIDE OF DOOR

GENERAL TRUSS INSTALLATION NOTES:
TRUSSES REQUIRE EXTREME CARE IN FABRICATING, HANDLING, SHIPPING, INSTALLING, AND BRACING. REFER TO, AND FOLLOW, THE LATEST EDITION OF BCSI (BUILDING COMPONENT SAFETY INFORMATION, BY "TPI" AND "SBCA") FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. INSTALLERS SHALL PROVIDE TEMPORARY BRACING PER BCSI. UNLESS NOTED OTHERWISE, TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL SHEATHING AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING. LOCATIONS SHOWN FOR PERMANENT LATERAL RESTRAINT OF WEBS SHALL HAVE BRACING INSTALLED PER BCSI SECTIONS B3, B7, OR B10, AS APPLICABLE.

**A COPY OF THE STATE APPROVED PLANS AND APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT, WHICH MAY INCLUDE LOCAL INSPECTORS. ALL PERMITS REQUIRED BY THE STATE OR LOCAL MUNICIPALITY SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF CONSTRUCTION / INSTALLATION / OPERATION.

NOTE:
ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR MUST CHECK ALL STRUCTURAL DETAILS AND DIMENSIONS, AND BE RESPONSIBLE FOR THE SAME. THE SAME ALL SUBCONTRACTORS SHALL COMPLETE AND LOCAL AND OTHER CODE REQUIREMENTS.



PROJECT:
NEW MAXI STORAGE BUILDING
MNJ DEVELOPMENT, LLC
TOWN OF BERLIN, WI

SITE INFORMATION:
NAME: MNJ DEVELOPMENT, LLC
ADDRESS: LOT 3 EAST RIDGE DEV.; CSM 2936V15
CITY, STATE, ZIP: BERLIN, WI 54923
COUNTY: GREEN LAKE COUNTY

REVISIONS	DATE	DESCRIPTION	BY
1	10/17/22	PRELIMINARY DRAWINGS FOR REVIEW	BVL
2	10/17/22	ISSUED FOR STATE PLAN APPROVAL	A/H

DRAWN BY: BVL
DATE DRAWN: OCT. 17, 2022
PROJECT MANAGER: JAMES SILLOWAY
JOB NUMBER: 22A59

1
SHEET OF 5

Engineering Scope: Building Design
for IBC 2015 / SPS 361/362
compliance
AARON J. HALBERG
34982
HAYWARD, WIS.
October 17, 2022
ENGINEER'S SEAL

NOTE:
ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL RESIDENTIAL CODE (IRC). THE ENGINEER'S SEAL IS VALID FOR ONE YEAR FROM THE DATE OF ISSUANCE. ANY CHANGES TO THE DESIGN SHALL BE MADE BY THE ENGINEER AND SHALL BE RESEALED.

HALBERG
ENGINEERING LLC
Specializing in Engineering for Post-Frame Buildings

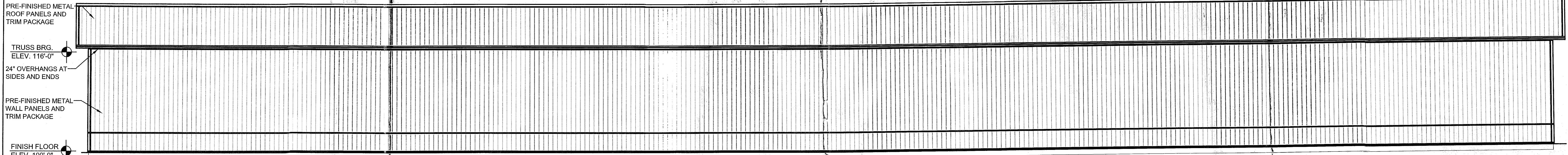
PROJECT:
NEW MAXI STORAGE BUILDING
MNJ DEVELOPMENT, LLC
TOWN OF BERLIN, WI

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REVISIONS	
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10/22/22	PRELIMINARY DRAWINGS FOR REVIEW
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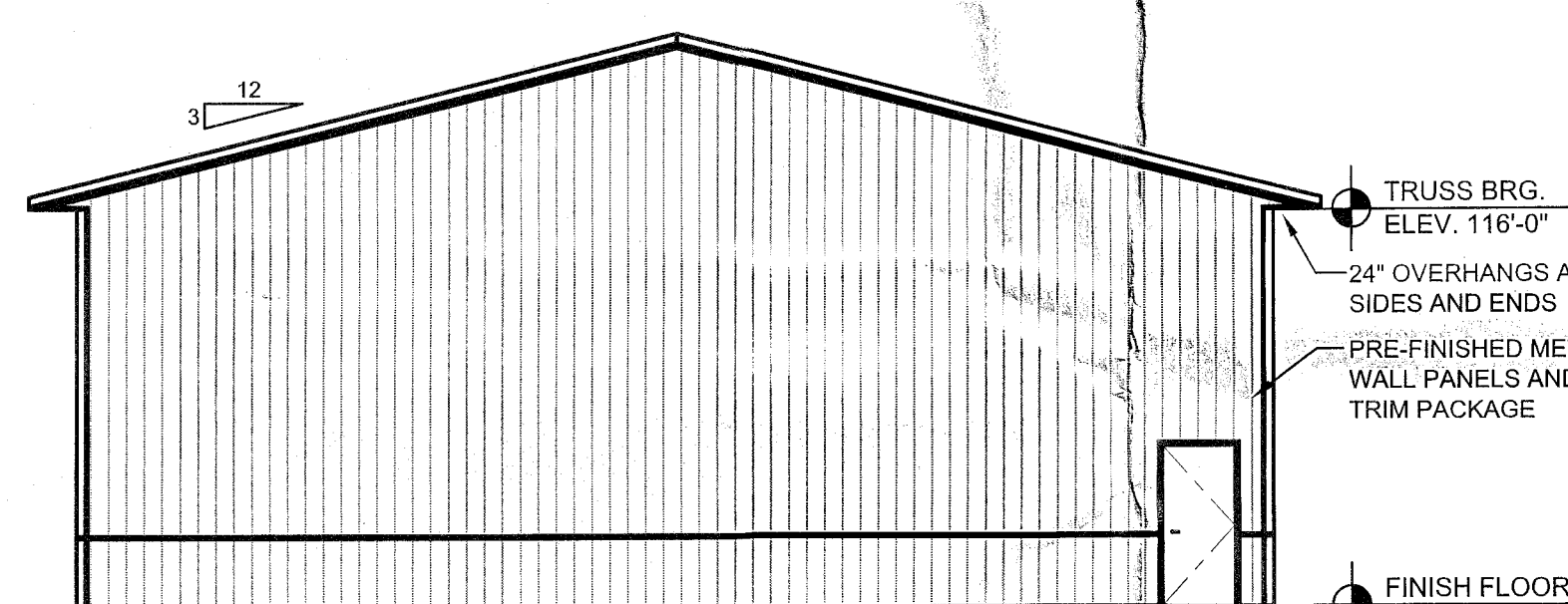
DRAWN BY:
BVL
DATE DRAWN:
OCT. 17, 2022
PROJECT MANAGER:
JAMES SULLOWAY
JOB NUMBER:
22A59

2
SHEET OF 5



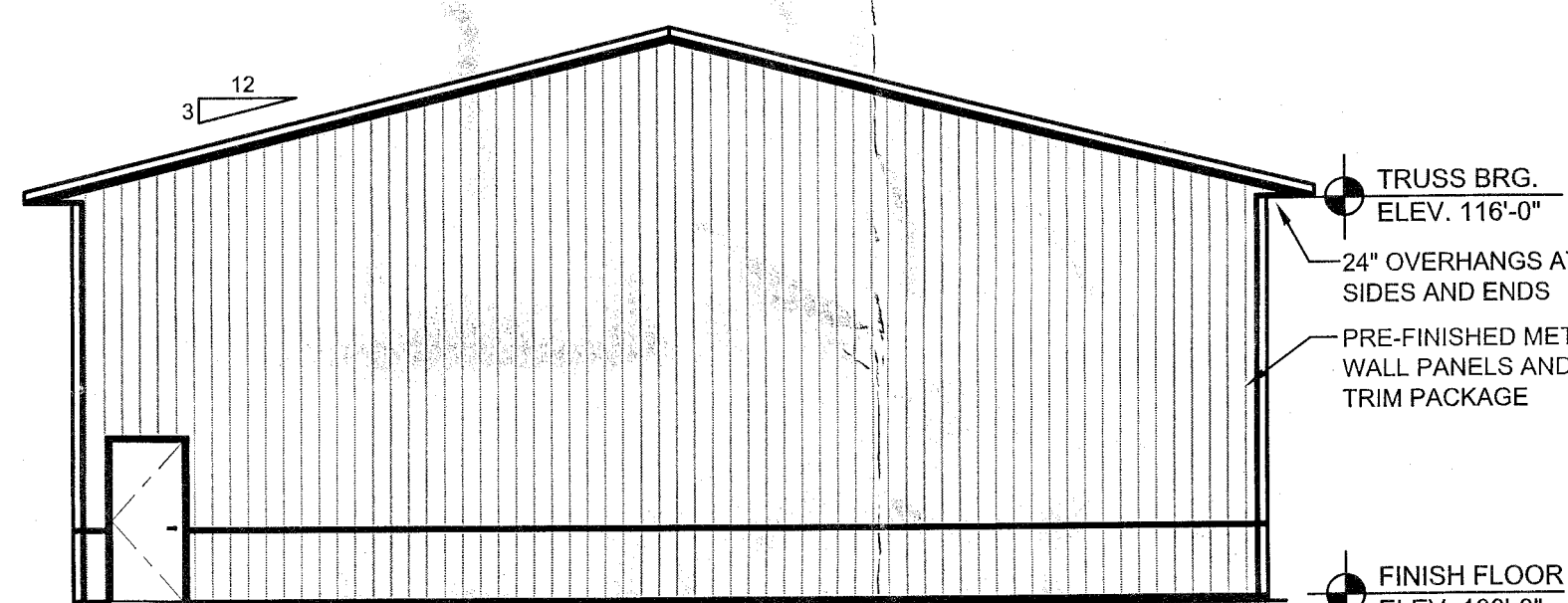
NORTH ELEVATION

SCALE: 1/8" = 1'-0"



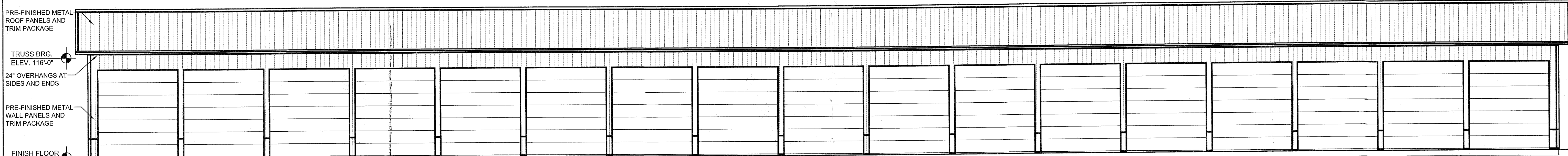
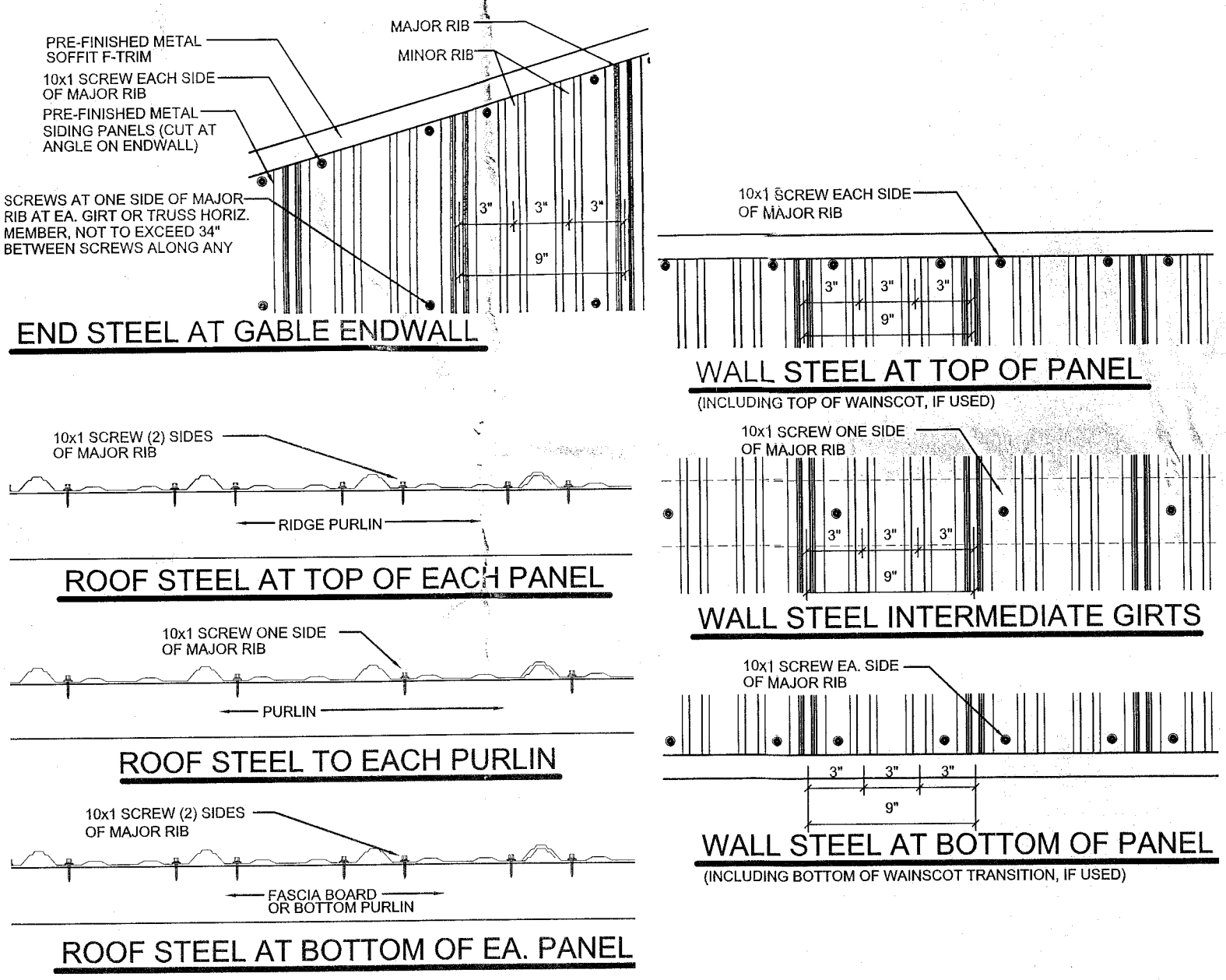
WEST ELEVATION

SCALE: 1/8" = 1'-0"



EAST ELEVATION

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

Engineering Scope: Building Design
for IBC 2015 / SPS 361/362
Compliance

WISCONSIN
AARON J. HALBERG
34982
HAYWARD
WIS.
PROFESSIONAL ENGINEER

October 17, 2022
October 17, 2022
ENGINEER'S SEAL

NOTE: ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR OR SUBCONTRACTOR MUST CHECK ALL DIMENSIONS AND DETAILS FOR ACCURACY AND BE RESPONSIBLE FOR THE SAME. ALL SUBCONTRACTORS SHALL COMPLETE CONSTRUCTION TO ALL APPLICABLE STATE AND LOCAL AND OTHER CODE REQUIREMENTS.

HALBERG
ENGINEERING LLC
Specializing in Engineering for Post-Frame Buildings

PROJECT: NEW MAXI STORAGE BUILDING
MNJ DEVELOPMENT, LLC
TOWN OF BERLIN, WI

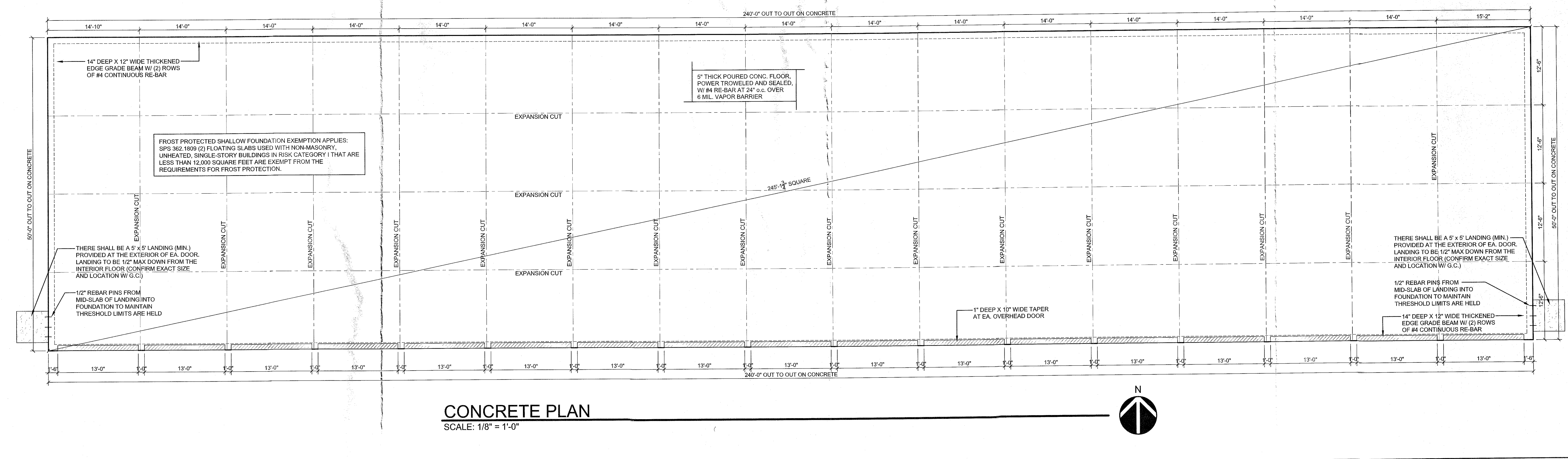
SITE INFORMATION:

NAME: MNJ DEVELOPMENT, LLC
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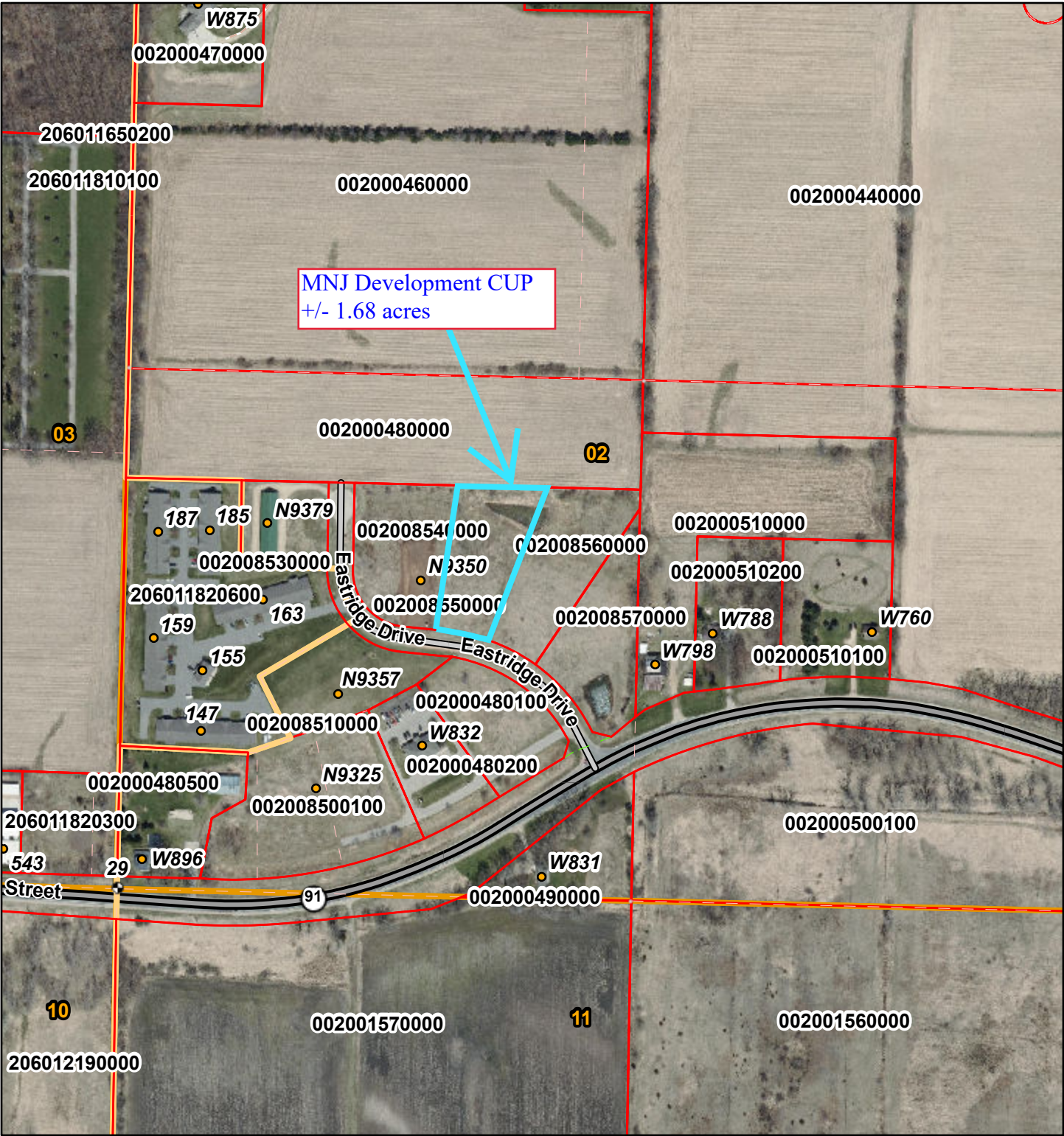
REVISIONS		
DATE	DESCRIPTION	BY
10/12/22	PRELIMINARY DRAWINGS FOR REVIEW	BVL
10/17/22	ISSUED FOR STATE PLAN APPROVAL	AJH

DRAWN BY:	BVL
DATE DRAWN:	OCT. 17, 2000
PROJECT MANAGER:	JAMES SILLCOCK
JOB NUMBER:	22A59

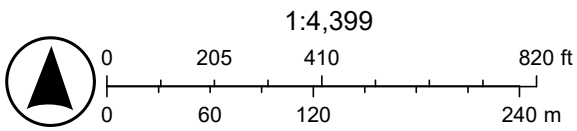
3
SHEET OF



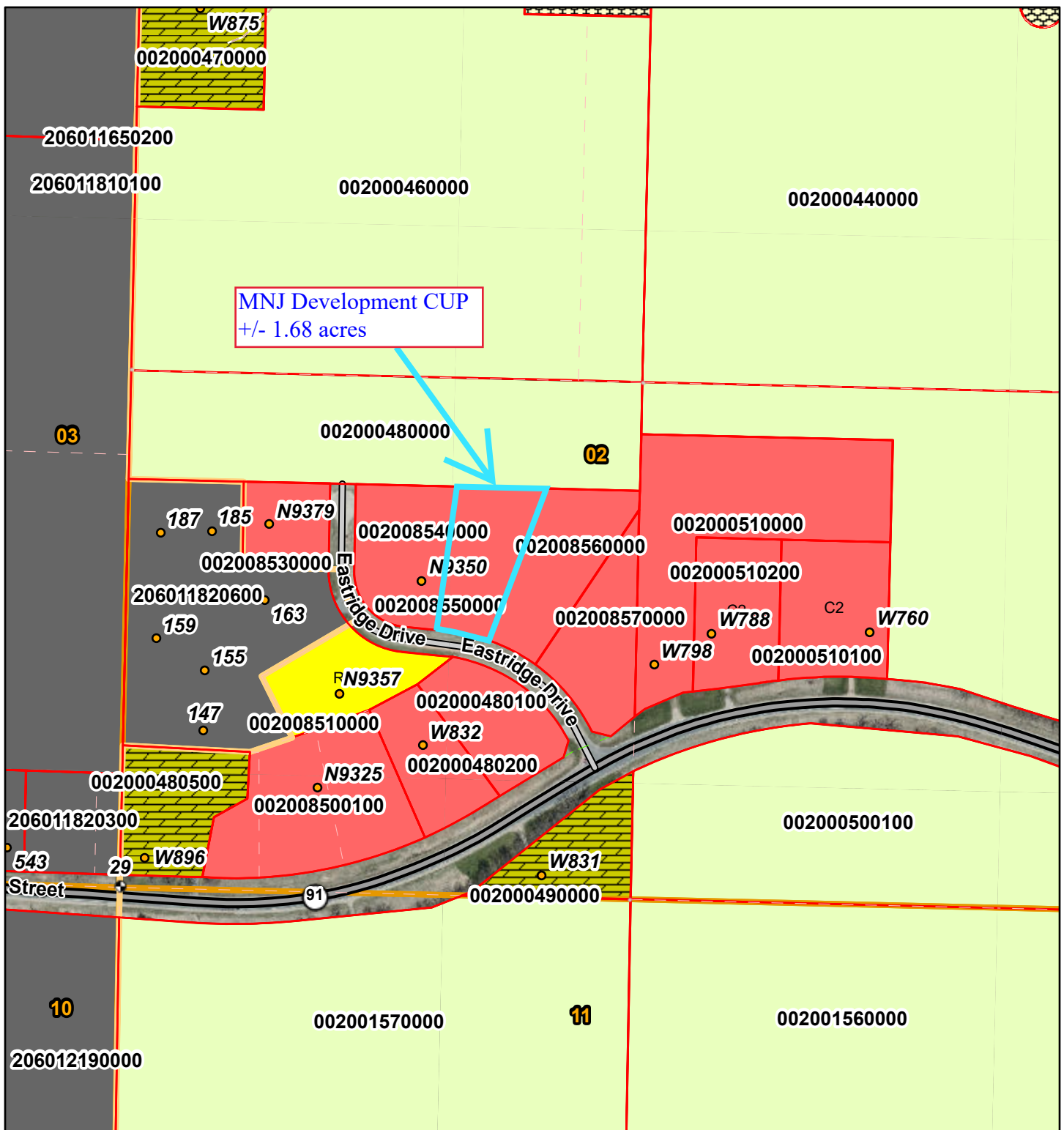
MNJ Development CUP Aerial Map



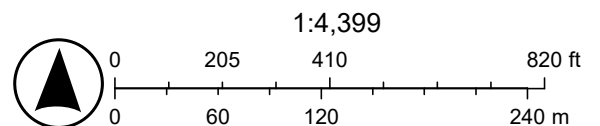
4/8/2025, 10:18:19 AM



MNJ Development CUP Zoning Map



4/8/2025, 10:33:56 AM



DETERMINATION OF THE LAND USE PLANNING AND ZONING COMMITTEE

Public Hearing Date: June 5, 2025

Owner: MNJ Development, LLC

Agent: Michael Monohan

Parcels: #002-00855-0000, Eastridge Drive, Town of Berlin.

Request: Conditional Use Permit for a 17-Unit Storage Building.

Land Use Planning and Zoning Committee:

Chuck Buss, Chair

Sue Wendt

William Boutwell, Vice Chair

Curt Talma

Gene Thom

Date signed: June 5, 2025

Committee vote: Ayes ____ Nays ____ Abstain ____ Absent ____

☐ **Approve**

☒ **With the conditions (listed on page 2)**

☐ **Deny.**

☐ **Modify as follows:**

Conditions of Approval:

General Conditions:

1. That the owners/applicants are responsible for obtaining permits and licenses from any other regulatory agency, if required.
2. That the owner/applicant apply for and receive a Land Use Permit prior to making any changes authorized through this conditional use permit approval process.
3. Any outdoor lighting shall comply with Section 350-23 of the County Zoning Ordinance.
4. No additional expansion or addition of structures and/or uses relating to this conditional use permit shall occur without review and approval through future conditional use permit(s).