



GREEN LAKE COUNTY

571 County Road A, Green Lake, WI 54941

The following documents are included in the packet for the Land Use Planning & Zoning Committee meeting on Thursday, July 11, 2024.

Packet Pages:

- 2 Agenda

- 3-6 Draft Meeting Minutes from 6/14/24

- 7-8 Register of Deeds Report

- 9-11 Land Use Reports for June 2024

- 12-13 Violation Reports

- 14 Public Hearing Notice

- 15-48 **Item #1: Owner:** Sunny Drive Farms LLC, **Agent:** Lee Larson, **Location:** Intersection of Sunny Drive and County Road A, **Parcel:** 010-00571-0000. **Legal Description:** SW $\frac{1}{4}$ of SE $\frac{1}{4}$, located in Section 28, T14N, R13E, Town of Mackford, ± 1.5 acres. **Request:** The owners are requesting a Conditional Use Permit for a 300' communication tower.

- 49-60 **Item #2: Owner:** Jerry Schmucker, **Location:** N2992 County Road B & H, **Parcel:** 014-01767-0100. **Legal Description:** Lot 1 of CSM 3745, located in Section 30, T15N, R12E, Town of Marquette, ± 8.41 acres. **Request:** The owners are requesting a Conditional Use Permit to begin construction of building components for hunting blinds, which are to be assembled and sold at a different location.

- 61-78 **Item #3: Owner:** S&L Holdings WI, LLC., **Agent:** Lee Garro, **Location:** Highway 23 & 49, **Parcels:** 004-00314-0200, -0300, -0400, & -0501. **Legal Description:** Lots 2, 3, 4, and Outlot 1 of CSM 1202, located in Section 15, T16N, R13E, Town of Brooklyn, ± 3.88 acres. **Request:** The owners are requesting a Conditional Use Permit for a boat storage building, individual storage units, and a sales office.



GREEN LAKE COUNTY
LAND USE PLANNING & ZONING DEPARTMENT

Matt Kirkman
Director

Office: 920-294-4156
FAX: 920-294-4198

Land Use Planning & Zoning Committee Meeting Notice

Date: Thursday, July 11, 2024 Time: 11:00 AM
Green Lake County Government Center, County Board Room
571 County Rd A, Green Lake WI

**Amended AGENDA

Committee
Members

Chuck Buss*
Bill Boutwell*
Curt Talma
Gene Thom
Sue Wendt

Secretary: Karissa Block

Virtual attendance at meetings is optional. If technical difficulties arise, there may be instances when remote access may be compromised. If there is a quorum attending in person, the meeting will proceed as scheduled.

This agenda gives notice of a meeting of the Land Use Planning and Zoning Committee. It is possible that individual members of other governing bodies of Green Lake County government may attend this meeting for informative purposes. Members of the Green Lake County Board of Supervisors or its committees may be present for informative purposes but will not take any formal action. A majority or a negative quorum of the members of the Green Lake County Board of Supervisors and/or any of its committees may be present at this meeting. See State ex rel. Badke v. Vill. Bd. of Vill. of Greendale, 173 Wis.2d 553, 578, 494 N.W. 2d 408 (1993).

1. Call to Order
2. Certification of Open Meeting Law
3. Pledge of Allegiance
4. *Election of Chair and Vice-Chair
5. Minutes of 6/14/2024
6. **Register of Deeds Report
7. Department Activity Reports
 - a) Land use & septic permits
 - b) Violation reports
8. Public Comment (15 minutes total/3 minute limit per person)
9. Public Hearing: (Not to begin before 11:30 AM)
Each item below will consist of:
 - a) Applicant testimony
 - b) Public Testimony/Comment: 15 minutes total/3 minute limit per person
 - c) Committee Discussion & Deliberation
 - d) Committee Decision
 - e) Execute Ordinance/Determination Form

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Item #3: Owner: S&L Holdings WI, LLC. **Agent:** Lee Garro, **Location:** Highway 23 & 49, **Parcels:** 004-00314-0200, -0300, -0400, & -0501, **Legal Description:** Lots 2, 3, 4, and Outlot 1 of CSM 1202, located in Section 15, T16N, R13E, Town of Brooklyn, ±3.88 acres. **Request:** The owners are requesting a Conditional Use Permit for a boat storage building, individual storage units, and a sales office.

10. Committee Discussion
 - a) Future Meeting Dates: August 1, 2024 @ 9:00am
 - b) Future Agenda items for action & discussion
11. Adjourn

Microsoft Teams meeting: This meeting will be conducted through in person attendance or audio/visual communication. Remote access can be obtained through the Microsoft Teams link on the agenda posted on the County website’s Events Calendar:

Microsoft Teams [Need help?](#)

[Join the meeting now](#)

Meeting ID: 245 860 154 996

Passcode: qHVRfr

Dial-in by phone

[+1 920-515-0745,,814345783#](#) United States, Green Bay

[Find a local number](#)

Phone conference ID: 814 345 783#

For organizers: [Meeting options](#) | [Reset dial-in PIN](#)

Please accept at your earliest convenience. Thank you!

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**GREEN LAKE COUNTY
LAND USE PLANNING AND ZONING
COMMITTEE MEETING MINUTES
Friday, June 14, 2024**

CALL TO ORDER

Planning & Zoning Chair Chuck Buss called the meeting of the Land Use Planning and Zoning Committee to order at 9:00AM in the Green Lake County Government Center, County Board Room #0902, Green Lake, WI. The requirements of the open meeting law were certified as being met. Public access was available via remote programming as well as in person. The Pledge of Allegiance was recited.

Present: **Bill Boutwell, Curt Talma, Chuck Buss, Gene Thom, Harley Reabe (Remote)**

Also Present: **Matt Kirkman**, Land Use Planning and Zoning Director; **Karissa Block**, Deputy County Clerk; **Noah Brown**, Land Use Specialist; **Jeff Mann**, Corporation Counsel; **Ryan Schinke**, Land Use Coordinator/Technician; **Cate Wylie**, County Administrator; **Ken Stephani**, Finance Director

APPROVAL OF MINUTES

Motion/second (Boutwell/Thom) to approve the minutes of the 05/02/2024 meeting. Motion carried with no negative vote.

DEPARTMENT ACTIVITY REPORTS

- Land Use & Septic Permits
- Violation Reports

Kirkman discussed reports

ORTHOIMAGERY PROPOSAL

Kirkman provided an update. Discussion held.

BUDGET LINE ITEM TRANSFER

Motion/second (Boutwell/Thom) to approve the budget line transfer. Motion carried with no negative vote.

BUDGET CARRYOVER (Land Information, Non-metallic Mining Reclamation, & Professional Services)

Kirkman explained carryover

Motion/second (Thom/Boutwell) to approve Carryover Fund for Land Information. Motion carried with no negative vote.

Motion/second (Boutwell/Thom) to approve Carryover Fund for Non-Metallic Mining. Motion carried with no negative vote.

Motion/second (Thom/Boutwell) to approve Carryover Fund for Development. Motion carried with no negative vote.

PUBLIC COMMENT (3 MINUTE LIMIT)

Mark Lindquist, N511 Skunk Ridge Lane, Ripon WI 54971 spoke against the County K quarry

Motion/second (Boutwell/Thom) to recess until the 9:30AM hour to start the Public Hearing. Motion carried with no negative vote.

PUBLIC HEARING – 9:30AM

Chair Buss read the Public Hearing rules.

Item #1: Owner: Kyle M. Miller, **Location:** W2786 County Road I, **Parcel:** 012-00211- 0300. **Legal Description:** Part of the E ½ of SW ¼ , located in Section 12, T14N, R12E, Town of Manchester, ±14.1 acres. **Request:** The owners are requesting a Conditional Use Permit for a commercial greenhouse to grow, store, and sell trees and shrubs.

Motion/second (Thom/Boutwell) to approve Conditional Use Permit. Motion carried with no negative vote.

Item #2: Owner: Dennis R. Moldenhauer & Kelly L. Moldenhauer, **Location:** Toledo Road & County Highway H, **Parcel:** 014-00854-0000. **Legal Description:** Lot 1 of CSM 1137, located in Section 34, T15N, R12E, Town of Marquette, ±10.5 acres. **Request:** The owners are requesting a rezone from A1, Farmland Preservation District, to A2, General Agriculture District.

Dennis Moldenhauer N2668 Toledo Rd explained they are asking for the rezone to build a house.

Motion/second (Thom/Boutwell) to approve the rezone from A1, Farmland Preservation District, to A2, General Agriculture District. Motion carried with no negative vote.

Harley Reabe joined the meeting at 9:40AM

Item #3: Owner: Nancy L. Hynes, Agent: Melanie Cody, Location: Irving Park Road and Hickory Road, **Parcel:** 004-00723-0000, **Legal Description:** Lot 1 of CSM 205, located in Section 30, T16N, R13E, Town of Brooklyn, ± .55 acres. **Request:** The owners are requesting a rezone from R1, Single-Family Residence District, to RC, Recreation District

Caitlin Cody (speaking on behalf of Melanie Cody) W2201 Hickory Rd Green Lake, WI spoke for Item #3

Motion/second (Boutwell/Thom) to approve rezone from R1, Single-Family Residence District, to RC, Recreation District. Motion carried with no negative vote.

Item #4: Applicant: Green Lake County Land Use Planning & Zoning Committee, **Request:** The committee is requesting an amendment to the Code of Green Lake County, Chapter 350, Zoning Ordinance; more specifically, to amend Section 350-65B., requiring a rural address or fire number prior to Land Use Permit issuance.

Motion/second (Boutwell/Thom) to approve amendment to Section 350-65B., requiring a rural address or fire number prior to Land Use Permit issuance. Motion carried with no negative vote.

Item #5: Applicant: Green Lake County Land Use Planning & Zoning Committee, **Request:** The committee is requesting an amendment to the Code of Green Lake County, Chapter 350, Zoning Ordinance; more specifically, to amend Section 350-77 by adding the definition of *caretaker*.

Motion/second (Boutwell/Talma) to approve amendment to Section 350-77 by adding the definition of *caretaker*. Motion carried with no negative vote.

Item #6: Owner: Christopher D. & Ruth M. Retzlaff, **Agent:** Michael McConnell, Kopplin & Kinas Co. Inc., **Location:** County Highway K and Searle Road, **Parcels:** 004-00789-0000 & 004-00792-0000. **Legal Description:** NE ¼ of SE ¼ and SE ¼ of SE ¼, located in Section 36, T16N, R13E, Town of Brooklyn, ±80.0 acres. Request: The owners are requesting a Conditional Use Permit for a limestone quarry.

Michael McConnell, Kopplin & Kinas Co. Inc., shared his presentation and explained the request.

Burr Zaretsky N5602 County Road A Green Lake, WI (speaking for the Green Lake Conservancy) spoke against the Conditional Use Permit for a limestone quarry

Mark Berman, N6345 Forest Ridge Rd, spoke for the Conditional Use Permit for a limestone quarry

Susan McConnell N4975 Craig Road Green Lake, WI, spoke against the Conditional Use Permit for a limestone quarry

Ernie Neuenfeldt N5139 Brooklyn G Rd, spoke against the Conditional Use Permit for a limestone quarry

Christa Westerberg 122 West Washington St Madison, WI, stated public comment time should be increased

Christine Phillips 596 South St, spoke against the Conditional Use Permit for a limestone quarry

Attorney Edward N5159 Forest Glenn Beach Rd Ripon, WI spoke against the Conditional Use Permit for a limestone quarry

Ben Kinus WA61 Sunnyside Rd spoke for the Conditional Use Permit for a limestone quarry

Bradley Meyers N Lawson Dr Green Lake, WI spoke for the Conditional Use Permit for a limestone quarry

Kirkman gave staff report. **Motion/second (Boutwell/Talma)** to add page 659, the technical memo, as the 20th condition. Motion carried with no negative vote.

Discussion held. **Motion/second (Thom/Boutwell)** to have a mandatory review of this conditional use permit after 20 years. Motion carried with no negative vote.

Motion/second (Boutwell/Thom) to suspend the rules to allow Mike McConnell's attorney – Ed Roepsch to speak. Motion carried with no negative vote.

Attorney Ed Roepsch asked for clarification of motion. Discussion held.

Harley Reabe left the meeting

Motion/second (Boutwell/Talma) to approve the CUP request with the addition of the technical memo and the 20 year services. Motion carried with no negative vote.

Item #7: Owner: Christopher D. & Ruth M. Retzlaff, **Agent:** Michael McConnell, Kopplin & Kinas Co. Inc., **Location:** County Highway K and Searle Road, **Parcels:** 004-00789-0000 & 004-00792-0000. **Legal Description:** NE ¼ of SE ¼ and SE ¼ of SE ¼, located in Section 36, T16N, R13E, Town of Brooklyn, ±80.0 acres. **Purpose:** The owners have submitted a Non-metallic mining reclamation permit application.

Reclamation Public Hearing. Informational only.

Burr Zaretsky N5602 County Road A Green Lake, WI (speaking for himself). Spoke against the decision
Attorney Edward N5159 Forest Glenn Beach Rd Ripon, WI, former BOA member, spoke against the decision
Kristin Kemnitz, W2205 Ledgeview Rd Green Lake, WI asked for plain if the water becomes contaminated
Debbie Zaretsky 344 Lac Verde Cir Green Lake, WI shared her concerns with how the quarry will be refilled

COMMITTEE DISCUSSION

- a. Next meeting date – July 11, 2024 @ 10:00AM
- b. Future agenda items for action & discussion

ADJOURN

Chair Buss adjourned the meeting at 11:29AM

Respectfully submitted,

Karissa Block
Deputy County Clerk



GREEN LAKE COUNTY

OFFICE OF THE REGISTER OF DEEDS

Renee Thiem-Korth
Register of Deeds

Office: 920-294-4021
FAX: 920-299-5075

July 8, 2024

Memo to the Land Use Planning and Zoning Committee

RE: Register of Deeds Office January to June 2024

I have attached a comparison chart from 2023 and 2024 for the first 6 months of each year. I will explain briefly what each column is since this is the first time the Register of Deeds office is coming before this committee.

Documents Recorded are the actual number of documents the Register of Deeds office received and recorded for the \$30 recording fee. Of this fee Green Lake County retains \$15, the State of Wisconsin receives \$7, and the Land Information Office receives \$8, per document, except Plats. The County retains the full fee for Plats.

Total Documents are the number of documents recorded and the transfer returns for each conveyance document. We do light index the transfer returns, however we do not receive the \$30 recording fee for these. These are the documents which are passed on to the State of Wisconsin, the Real Property Lister, and the Assessors to show ownership transfers.

Documents rejected are the documents our office rejected upon the first (sometimes second or third) review. The first number is online recordings rejected and the second number is paper documents rejected. As you can see that number has increased from last year. Each of these documents are additional time for our office as we must review them more than once to make sure all the errors are fixed.

Birth Certificates - the columns indicate 1st and additional copies issued and the total of all. Green Lake County retains \$5 for every 1st copy of a birth certificate we issue, and \$3 for every additional copy we issue.

Death Certificates - the columns indicated the same as births, however Green Lake County retains \$7 for each 1st copy of death certificates we issue and the \$3 for each additional.

Marriage Certificated are the same as death certificates for money retained. The numbers are down slightly with regards to marriage certificates. I believe this is due to the ability to file the marriage license in any county statewide now. We may have destination weddings in our county, but the couple can now file that marriage license anywhere statewide.

The last column is the total transfer fees we receive from sales of real estate in Green Lake County. We retain 20% of the total transfer fees.

The Register of Deeds office currently consists of myself and a Chief Deputy, Pam Weber. The part-time position remains open since March of this year. It has been the suggestion of the County Administrator, the vacant position of part-time deputy (1500 per year by Resolution 26-2023, done in December 2023) not be posted. The suggestion has been to transition Heidi Weishaar, from her full-time position in the Land Conservation office to a split position between the Register of Deeds and the Land Conservation.

If you have any questions, please feel free to stop into the Register of Deeds office or call, at any time. I would be happy to answer any questions you may have.

Respectfully submitted,

Renee A. Thiem-Korth
Register of Deeds

Real Estate Records Processed						Vital Record Certificates Issued							
			Docs										
2023	Docs	Total	Rejected	1st copy	Add	Total	1st copy	Add	Total	1st copy	Add	Total	Transfer Fees
Month	Recorded	Docs	1st submit	Birth	Copies	Birth	Death	Copies	Death	Marriage	Marriage	Marriage	
Jan	243	337	54/20	34	20	54	39	356	395	12	23	35	\$ 36,851.70
Feb	208	278	60/25	14	5	19	38	370	408	10	19	29	\$ 21,423.60
March	264	344	53/21	28	23	51	41	387	428	11	8	19	\$ 33,296.70
April	245	333	41/18	36	21	51	40	403	443	33	16	49	\$ 31,968.30
May	294	398	38/17	27	21	48	31	263	294	12	19	31	\$ 58,521.00
June	314	424	88 & 21	27	27	54	46	387	433	19	42	61	\$ 47,437.20
Totals	1568	2114	246/101	166	117	277	235	2166	2401	97	127	224	\$ 229,498.50
			Docs										
2024	Docs	Total	Rejected	1st copy	Add	Total	1st copy	Add	Total	1st copy	Add	Total	Transfer Fees
Month	Recorded	Docs	1st submit	Birth	Copies	Birth	Death	Copies	Death	Marriage	Marriage	Marriage	
Jan	239	332	99 & 52	36	40	76	56	521	577	20	16	36	\$ 26,737.50
Feb	254	328	49 & 23	28	36	64	36	336	372	12	13	25	\$ 32,007.60
March	257	355	78 & 31	20	18	38	40	360	400	8	11	19	\$ 32,709.90
April	300	397	44 & 21	33	19	52	44	411	455	14	18	32	\$ 53,370.60
May	363	485	51 & 25	21	9	30	36	319	355	15	14	29	\$ 58,216.50
June	287	356	50 & 13	33	34	67	34	317	351	16	24	40	\$ 39,748.80
Totals	1700	2253	369 & 165	171	156	327	246	2264	2510	85	96	181	\$ 242,790.90

Land Use Permits: 5/1/2024 - 5/31/2024

Town of Berlin

Permit Number	Parcel Number	Site Address	Issued Date	Owner Name	Estimated Cost	Project_1 Type/SubType	Project_1 Description	Project_2 Type/SubType	Project_2 Description
13655	002004270000, 002004280000, 002004260000	N8257 COUNTY ROAD F , No Address Available, N8281 COUNTY ROAD F	05/20/2024	TRILLIUM HILL LAND LLC	15500000	Accessory Structure - Agricultural Building	feed pen addition	Accessory Structure - Agricultural Building	Milking parlor and Freestyle barn
13658	002000610100	N9567 32ND DR	05/02/2024	AIDEE LOPEZ GAYTAN, JOSEM RIVERA VENEGAS	8000	Accessory Structure - Fence	Circular fence for personal riding stable. Privacy style so horses can't see outside the area		
13667	002004870200	N8050 FOREST RIDGE RD	05/10/2024	DENISE NELSON, KENNETHR SCHRAM, LISA SCHUSTER	380000	Accessory Structure - Agricultural Building	Corn crib steel		
13671	002003210100	N8511 COUNTY ROAD A	05/15/2024	LAWRENCE P & SHARON L NIGBOR REVOCABLE TRUST	800	Additions / Alterations - Addition/Alteration to Principal Structure	Building a metal roof over the existing patio		
13682	002008080000	W1445 SEWARD CIR	05/30/2024	DIANEK OTTO	24000	Accessory Structure - Attached Deck/Patio	replacing existing deck on same footprint		

Town of Brooklyn

Permit Number	Parcel Number	Site Address	Issued Date	Owner Name	Estimated Cost	Project_1 Type/SubType	Project_1 Description	Project_2 Type/SubType	Project_2 Description
13650	004009480400	W2850 ORCHARD AVE	05/09/2024	BRYANR ADEL, SUZANNEV ADEL	150000	Accessory Structure - Detached Garage	1495 sqft detached garage		
13659	004003890000	No Address Available	05/03/2024	RONNIEJ MODEROW	20000	Accessory Structure - Shed	Ag Storage Building Storage for food plot	Accessory Structure - Attached Deck/Patio	deck
13662	004000910000	W1798 BLUFFTON RD	05/07/2024	JAMESGUSTAVE WESNER	15000	Accessory Structure - Storage Buildings	16 x 20 shed	Accessory Structure - Storage Buildings	3 shipping containers
13663	004007470100	N5244 COUNTY ROAD A	05/08/2024	CHRISTOPHERC SMITH TRUST	44300	Land Disturbing Activity - Filling	1700 yards of Fill		
13664	004007160000	W2109 IRVING PARK RD	05/09/2024	BRADLEYD CHAPIN, MARYS CHAPIN	50000	Accessory Structure - Retaining Walls	3 Retaining Walls near lake	Accessory Structure - Attached Deck/Patio	Patio
13665	004010360200	W1909 BELLE MAPPS CT	05/13/2024	COLLEENM KEARNEY, PETERL KEARNEY	5000	Land Disturbing Activity - Impervious Surface Treatment Device	12 cuft infiltration basin 3/4 in clear stone	Accessory Structure - Boathouse	Boathouse
13676	004007070000	W2175 IRVING PARK RD	05/22/2024	MICHAELS FINE, NANCYJ FINE	26000	Accessory Structure - Attached Deck/Patio	replacing deck		
13677	004017380000	N6023 KILLDEER LN	05/22/2024	MARK G & MORNA M HELBACH	140000	Accessory Structure - Detached Deck/Patio	Concrete Patio around pool	Accessory Structure - Accessory Structure	Pool
13678	004009290000	N4966 PEACOCK LN	05/24/2024	SCOTT E & JEANNE M DIFFLEY 2019 REVOCABLE TRUST	45000	Accessory Structure - Attached Deck/Patio	820 sqft deck and replacement of existing deck		

Town of Green Lake

Permit Number	Parcel Number	Site Address	Issued Date	Owner Name	Estimated Cost	Project_1 Type/SubType	Project_1 Description	Project_2 Type/SubType	Project_2 Description
13575	006000880300	W2068 LAKEVIEW RD	05/13/2024	KRISTINP DAVIS, SCOTTN DAVIS	350000	Accessory Structure - Porch	Screen Porch	Accessory Structure - Accessory Structure	Utility barn/ woodworking shed
13661	006007921101	W3188 COUNTY ROAD K	05/24/2024	DANIEL DAUL, JODI DAUL	900000	Accessory Structure - Attached Deck/Patio	Lake Patio	Accessory Structure - Shed	Screen Porch
13668	006003200300	W1798 COUNTY ROAD B	05/10/2024	JAMESR SCHARSCHMIDT, MARYE SCHARSCHMIDT	40000	Accessory Structure - Shed	Residential Shed		
13670	006016180000	W1680 SANDSTONE AVE	05/10/2024	DEAN RASCHKE LIVING TRUST	75000	Accessory Structure - Retaining Walls	Retaining walls outside of shoreland setback	Accessory Structure - Stairs/Walkway	side walkway
13680	006001000300	W2084 LAKEVIEW RD	05/28/2024	BARTHOLOMYD KOOPMAN, DAWN M KOOPMAN	20000	Accessory Structure - Attached Deck/Patio	New Deck		

13683	006012380000	W2066 TULETA HILL RD	05/31/2024	MICHAEL & BONITA R FREEMAN LIVING TRUST	4000	Land Disturbing Activity - Grading	Removal of house		
13684	006020890000	W2428 OAKWOOD AVE	05/31/2024	BB20 LLC	85000	Accessory Structure - Stairs/Walkway	replacement of lake stairs		

Town of Kingston

Permit Number	Parcel Number	Site Address	Issued Date	Owner Name	Estimated Cost	Project_1 Type/SubType	Project_1 Description	Project_2 Type/SubType	Project_2 Description
NONE									

Town of Mackford

Permit Number	Parcel Number	Site Address	Issued Date	Owner Name	Estimated Cost	Project_1 Type/SubType	Project_1 Description	Project_2 Type/SubType	Project_2 Description
13674	010006130000	W2470 COUNTY ROAD AW	05/20/2024	MATT BOELTER FARMS LLC	150000	Additions / Alterations - Addition/Alteration to Accessory	Addition to milk parlor and barn		

Town of Manchester

Permit Number	Parcel Number	Site Address	Issued Date	Owner Name	Estimated Cost	Project_1 Type/SubType	Project_1 Description	Project_2 Type/SubType	Project_2 Description
13660	012001760000	N1745 STATE ROAD 44 73	05/06/2024	TOBY E & MALINDA A PETERSHEIM	6000	Additions / Alterations - Addition/Alteration to Accessory Structure	Addition to Tool Shed 960 sq ft		
13681	012002390200	N1542 STATE ROAD 73	05/29/2024	MATTHEW A & VICKI L JAHNKE REVOCABLE TRUST	8500	Accessory Structure - Attached Deck/Patio	New Deck		

Town of Marquette

Permit Number	Parcel Number	Site Address	Issued Date	Owner Name	Estimated Cost	Project_1 Type/SubType	Project_1 Description	Project_2 Type/SubType	Project_2 Description
13675	014004810201	W5847 PUCKAWAY RD	05/21/2024	RANDALLL MEINKE	500000	Principal Structure - Single Family	3 bedroom house w/ basement	Accessory Structure - Attached Garage	Concrete floor garage

Town of Princeton

Permit Number	Parcel Number	Site Address	Issued Date	Owner Name	Estimated Cost	Project_1 Type/SubType	Project_1 Description	Project_2 Type/SubType	Project_2 Description
13657	016003470300, 016003470400	W3571 MEREDITH LN , W3567 MEREDITH LN	05/01/2024	CARP DIEM LLC, SMITHS LAGO VERDE LLC	25000	Land Disturbing Activity - Drainage	Infiltration chambers	Land Disturbing Activity - Drainage	Rock Infiltration Basin
13666	016010600000	W3399 ORCHARD AVE	05/09/2024	JANER PETTINGER	21700	Accessory Structure - Stairs/Walkway	Replace Deck Stairs	Accessory Structure - Attached Deck/Patio	Replace existing Deck
13672	016008010300	N5587 LOCK RD	05/17/2024	JEREMYWAYNE WEIHBRECHT, TAMILYNN WEIHBRECHT	50000	Principal Structure - Single Family	2 bed SFD cabin 768 sqft living space	Accessory Structure - Attached Deck/Patio	Patio
13673	006006860100	W742 UTLEY RD	05/17/2024	NICHOLASJ BEEK	8000	Accessory Structure - Detached Garage	22 x 24 carport near house, gravel floor		
13679	016012820100	W3669 N LAWN	05/24/2024	AMYLEIGH DAVIS SCHMIDT	350000	Accessory Structure - Porch	North Porch	Accessory Structure - Porch	South Porch

Town of Saint Marie

Permit Number	Parcel Number	Site Address	Issued Date	Owner Name	Estimated Cost	Project_1 Type/SubType	Project_1 Description	Project_2 Type/SubType	Project_2 Description
NONE									

Town of Seneca

Permit Number	Parcel Number	Site Address	Issued Date	Owner Name	Estimated Cost	Project_1 Type/SubType	Project_1 Description	Project_2 Type/SubType	Project_2 Description
NONE									

May 2023 Estimated Cost: \$2,878,249
2023 YTD Estimated Cost: \$20,460,232

May 2024 Estimated Cost: \$19,017,300.00
2024 YTD Estimated Cost: \$29,470,095.00

Sanitary Permits: 5/1/2024 - 5/31/2024

Sanitary Permit	Parcel Number	Site Address	Owners	Date Issued	Permit Type	System Type	Plumber Name	County Fee	DSPS Fee	Total Cost to Applicant
202424031	008004980000	W6368 E PINE ST	TOWNOF KINGSTON	05/06/2024	New System	Conventional (Non-Pressurized In-Ground)	Dustin Hoffmann	280	100	380
202424112	002004280000	No Address Available	TRILLIUM HILL LAND LLC	05/20/2024	New System	Holding Tank	Michael Baumann	385	100	485
202424114	006000880300	W2068 LAKEVIEW RD	KRISTINP DAVIS, SCOTTN DAVIS	05/13/2024	New System	Mound	Daniel Egbert	280	100	380
202424115	014004810201	W5847 PUCKAWAY RD	RANDALL MEINKE	05/10/2024	New System	Conventional (Non-Pressurized In-Ground)	Ben Kinass	280	100	380
202424116	004002030200	W517 MCCONNELL RD	MARCOT RHEIN, STEPHANIEL RHEIN	05/17/2024	Replacement System	Conventional (Non-Pressurized In-Ground)	Jeremiah Storer	280	100	380
202424117	018006880000	W5102 MILE RD	WUEST FAMILY CABIN TRUST	05/20/2024	New System	Conventional (Non-Pressurized In-Ground)	Ben Kinass	280	100	380
202424118	008002730100	W5372 COUNTY ROAD FF	LORANNAD MILLER, RICHARDW MILLER	05/29/2024	Replacement System	Mound	Dustin Hoffmann	280	100	380
202424119	004002790000	W774 STATE ROAD 23 AND 49	JACKLYN WASHKOVICK	05/29/2024	Replacement System	Conventional (Non-Pressurized In-Ground)	Jeffrey Novak	280	100	380
202424120	014008540000	N2668 TOLEDO RD	DENNISR MOLDENHAUER, KELLYL MOLDENHAUER	05/29/2024	New System	Conventional (Non-Pressurized In-Ground)	Jeremiah Storer	280	100	380
Total permits issued: 9							Total:	2625	900	3525

* There are additional properties associated with the permit

First Notice

Parcel Number	Site Address	Owner Name	Permit #	Violation Type	Violation Description
014005110201	N2875 Nicolet Rd	Carolyn & Corneal Troyer	13383	Zoning, Junk	Movement of mobile home and construction of basement without a permit. Inoperable camper/mobile home and trailer/trailer frame. Junk includes: plastic drums, metal drums, ac unit, chest freezers, appliances, propane tanks, bins, buckets, lumber, etc. scattered throughout property. 3 boats on property when two rec vehicles allowed on R-4 zoned parcel. Waiting on certified mail receipt. Otherwise will have Sheriff's deputy serve the notice.

Second Notice

Parcel Number	Site Address	Owner Name	Permit #	Violation Type	Violation Description
002002260200	W282 County Road V	Stanley Hallman	13532	Zoning, POWTS	No LUP for conversion of Ag building to house, No reconnection permit for sanitary system, House not being lived in by owner / operator of the farm.
008004680000	W6502 STATE ROAD 44	Carolee Miller	13533	Shoreland	No LUP and building within the shoreland setback. Certified Mailing -unclaimed resent through S.O.

Sent to Corp. Counsel

Parcel Number	Site Address	Owner Name	Permit #	Violation Type	Violation Description
004003750100	N6264 N lawson Dr	David Santee	13356	Zoning	Establishing a residence without a conditional use permit on C-2 parcel.
004003750100	N6264 N Lawson Dr	David Santee	13460	Zoning	Operating a long term rental in a zoning district that does not allow long term rentals as an allowed use.
020004510000, 02000455000	Hopp Road Right of way	Hopp	13395	Floodplain	Installed three sets of three culverts in 2008 without WDNR or County Zoning approval. Resolution is to remove all three sets of culverts to restore natural flooding conditions. Update: Joe said he would work with the Town's attorney to draft a legal letter to Mike Arrowhead of Walleyes for Tomorrow. The letter would be worded in such a way that Walleyes for Tomorrow will be responsible for removing the culvert sets on both parcels.
014001810000	N4356 PINE RD E	PAUL PETERSEN	13618	Zoning	3 Recreational Campers in A-1, Farmland Preservation District

Monthly Violations Resolved

YTD Violations Resolved

POWTS Violation Report 6/26/24

First Notice												
Parcel Number	Site Address	Owner Name	Permit #	Violation Type	Violation Description	Violation Date	Mailing Addr	Add2	City	State	Zip	Zip4
008001790100	NA	Brezekinski	20200000081	Failing POWTS	composting toilet permit application. Pit	2/19/2024				WI		
008004020000	W6712 Park View LN	Dorothy Yoder	00824056	POWTS Failure	Illegally installed holding tank of some kind.	5/23/2024	509 LINWOOD AVE		STEVENS POINT	WI		
012005160100	N879 Lane 7	William Bontrager	00071169	POWTS Failure		4/24/2024	W6712 PARKVIEW LANE		DALTON	WI		
020002500400	W2635 Fox River	Harold Conn	00037515	POWTS Failure	Tank not watertight growing into it. No longer watertight or	5/21/2024	N879 LANE 7		MARKESAN	IL		
018006720200	N7506 STATE ROAD 73	Cecil Clements Jr.	00148246	POWTS Failure	Drain Field Failure	4/30/2024	7104 W 73RD PL		CHICAGO	WI		
							N7506 State Road 73		Neshkoro			

Final Notice												
Parcel Number	Site Address	Owner Name	Permit #	Violation Type	Violation Description	Violation Date	Mailing Addr	Add2	City	State	Zip	Zip4
002002391300	W768 OAK DR	MORK LYNN D & PAMELA K	000264879	POWTS Failure	Tank not watertight	4/16/2024	W768 OAK DR		BERLIN	WI	54923	

Corporation Counsel												
Parcel Number	Site Address	Owner Name	Permit #	Violation Type	Violation Description	Violation Date	Mailing Addr	Add2	City	State	Zip	Zip4
004003750100	N6264 N LAWSON DR	SANTEE DAVID ROY	326	POWTS Failure	Drain field is failing and pump/float wiring is not legal.	1/31/2024	N6264 N LAWSON DR		GREEN LAKE	WI	54941	
006001980000	W591 THOMAS RD	WILKE CARL H	00624010	POWTS Failure	Tank not Watertight	5/18/2022	W591 THOMAS RD		RIPON	WI	54971	8660
006010220701	W1740 SANDSTONE AVE	WOOD MAUREEN ; WOOD SIMON	000159178	POWTS Failure	Tank not watertight	10/22/2019	120 LAKEWOOD CIRCLE		WILLO WBRO OK	IL	60527	
006010221104	N5107 SANDSTONE AVE	VANDERVELDE NANCY	00624041	POWTS Failure	Tank not watertight	6/29/2023	387 SCOTT ST		GREEN LAKE	WI	54941	
006010221105	N5113 SANDSTONE AVE	VANDERVELDE NANCY	00624042	POWTS Failure	Tank not watertight	6/16/2023	387 SCOTT ST		GREEN LAKE	WI	54941	
008005940000	W6521 W NORTH ST	BARKER RHONDA K	000000011	POWTS Failure	Tank Failure	10/27/2021	PO BOX 114		KINGST ON	WI	53939	
014001720000	W5156 PINE RD N	HEINECKE RANDAL R ET AL	26724	POWTS Failure	Tank Failure	11/8/2019	5531 ST ANTHONY RD		WEST BEND	WI	53090	
016000900000	N6123 SWAMP RD	HEBBE JAMES A	01624006	POWTS Failure	Tank not Watertight	4/26/2022	W1531 BLUFFTON RD		GREEN LAKE	WI	54941	
016004630000	N4487 MAPLE LN	KLEIN JUSTIN T	58848	POWTS Failure	Tank not Watertight	8/5/2022	1623 E SUNSET DR	APART MENT 103	WAUKE SHA	WI	53189	
016007700000	W5897 STATE ROAD 23	HAZELWOOD WANETTA ET AL	26752	POWTS Failure	Tank Failure	8/13/2019	7849 N EDGEWORTH DR		MILWA UKEE	WI	53223	
016008320000	N5528 COUNTY ROAD T	WEIR LAVERNE J	01624079	POWTS Failure	Tank not Watertight	12/12/2023	C/O BARBARA MORRISON	535 FENTO N ST	RIPON	WI	54971	
016009230000	W5894 WALTER WILLIAMS RD	PROG ROD- GUN CLUB	010024095	POWTS Failure	Tank unsound	6/24/2020	TREASURER	PO BOX 288940	CHICAG O	IL	60628	
016009230000	W5886 WALTER WILLIAMS RD	PROG ROD- GUN CLUB	010024249	POWTS Failure	Tank unsound	6/24/2020	TREASURER	PO BOX 288940	CHICAG O	IL	60628	
016009230000	N4922 RAY SHORTER RD	PROG ROD- GUN CLUB	010024256	POWTS Failure	Tank Failure	5/29/2021	TREASURER	PO BOX 288940	CHICAG O	IL	60628	
016009230000	N4904 RAY SHORTER RD	PROG ROD- GUN CLUB	010024259	POWTS Failure	Tank compromised	6/24/2020	TREASURER	PO BOX 288940	CHICAG O	IL	60628	
016015530000	N4164 NANCY DR	RUBACH RYAN W	000018212	POWTS Failure	Effluent discharging to ground surface	9/13/2023	N4164 NANCY DR		MARKE SAN	WI	53946	

NOTICE OF PUBLIC HEARING

The Green Lake County Land Use Planning and Zoning Committee will hold a public hearing in County Board Room #0902 of the Green Lake County Government Center, 571 County Road A, Green Lake, WI, on **Thursday, July 11, 2024, at 11:30 a.m.** related to the following requests:

Item #1: Owner: Sunny Drive Farms LLC, **Agent:** Lee Larson **Location:** Intersection of Sunny Drive and County Road A, **Parcel:** 010-00571-0000. **Legal Description:** SW ¼ of SE ¼, located in Section 28, T14N, R13E, Town of Mackford, ±40.0 acres. **Request:** The owners are requesting a Conditional Use Permit for a 300' communication tower.

Item #2: Owner: Jerry Schmucker, **Location:** N2992 County Road B & H, **Parcel:** 014-01767-0100. **Legal Description:** Lot 1 of CSM 3745, located in Section 30, T15N, R12E, Town of Marquette, ±8.41 acres. **Request:** The owners are requesting a Conditional Use Permit to build hunting blind components, which are to be assembled and sold at a different location.

Item #3: Owner: S&L Holdings WI, LLC. **Agent:** Lee Garro, **Location:** Highway 23 & 49, **Parcels:** 004-00314-0200, -0300, -0400, & -0501, **Legal Description:** Lots 2,3,4, and Outlot 1 of CSM 1202, located in Section 15, T16N, R13E, Town of Brooklyn, ±3.88 acres. **Request:** The owners are requesting a Conditional Use Permit for a boat storage building, individual storage units, and a sales office.

All interested persons wishing to be heard at the public hearing are invited to attend. For further detailed information concerning this notice and for information related to the outcome of public hearing items, contact the Green Lake County **Land Use Planning and Zoning Department** at (920) 294-4156.

Publish: June 27, 2024

Item #1: Owner: Sunny Drive Farms LLC, **Agent:** Lee Larson, **Location:** Intersection of Sunny Drive and County Road A, **Parcel:** 010-00571-0000. **Legal Description:** SW $\frac{1}{4}$ of SE $\frac{1}{4}$, located in Section 28, T14N, R13E, Town of Mackford, ± 1.5 acres. **Request:** The owners are requesting a Conditional Use Permit for a 300' communication tower.

LAND USE PLANNING AND ZONING COMMITTEE STAFF REPORT

PUBLIC HEARING

July 11, 2024

ITEM I: CONDITIONAL USE PERMIT (CUP)

OWNERS:

Sunny Drive Farms LLC

APPLICANT:

Cloud 1 – Lee Larsen

REQUEST: The owners and applicant are requesting a conditional use permit to construct a 300-foot tall communication's tower to include a high-speed internet service facility, as well as associated ground equipment.

PARCEL NUMBER / LOCATION: The request affects parcel 010-00571-0000, located in the SW $\frac{1}{4}$ of the SE $\frac{1}{4}$ of Section 28, T14N, R13E, Town of Mackford. The subject site is on the corner of County A and Sunny Drive.

EXISTING ZONING AND USES OF ADJACENT AREA: The subject site is located in the southeast corner of Green Lake County about a mile north of the Dodge County line and about 3.5 miles west of the Fond du Lac County line. The parcel of land impacted by this request is zoned A1, Farmland Preservation District. The predominant land use around the parcel is agricultural. There are several farm and/or rural residences within a mile of the proposed use. A1 zoning is the dominant zoning in the area apart from two A2 (General Ag) zoning parcel nearby.

ADDITIONAL INFORMATION / ANALYSIS: The conditional use permit application states that the subject property is currently used as "farm field". The proposal would include the equipment compound, tower, chain-link fence, and three guy wire anchor locations. All of these are included in the leased area being provided by the property owners.

Per Chapter 66.0404(4)(a) through (w), (See page 3 of 3), the only way this project could be stopped would be if the owners/applicant refused to comply with the statutory requirements that are reflected in Green Lake County zoning ordinance Section 350-44. The Land Use Planning & Zoning Department will make sure the owners/applicant adhere to these requirements.

The purpose of this conditional use permit hearing is to notify the public of the impending project. In doing so, the adjacent property owners have the opportunity to attend a public hearing to find out specifics and give testimony, and to voice any concerns regarding the project.

GENERAL STANDARDS FOR REVIEW OF CONDITIONAL USE REQUESTS: Subject to the limitations outlined above, it is important that the Committee maintain the purpose and intent of the County Zoning Ordinance when reviewing and approving a request of this nature. The Committee shall take into consideration, among other things, the recommendation of the affected town and the particular facts and circumstances of the proposed use in terms of the standards found in Section 350-56 "Review of permit application; standards and conditions" of the County Zoning Ordinance. The Committee need not consider requirements that would apply to the local Town, other County, State or Federal entities of jurisdiction.

COUNTY STAFF COMMENTS: Normally, the Committee would be able to approve or deny this project based on the zoning ordinance's general criteria for review of conditional use permits. However, the State of Wisconsin Statutes have determined that these projects are effectively pre-approved so long as the project maintains compliance with Statutes. When the Committee approves this conditional use permit request, the following conditions should be required:

1. All of the provisions of the County Zoning Ordinance and State Statutes shall be adhered to by the owners/applicant.
2. A permit bond in the amount of \$20,000 shall be provided to the Land Use Planning & Zoning Department, prior to Land Use Permit issuance, which obligates the applicant to restore the subject site back to pre-development conditions in the event that the tower is taken out of service for a period of time exceeding 1 year.
3. The owners/applicant shall apply for and have been issued a fire number for the subject site prior to land use permit issuance.

TOWN OF MACKFORD: An Action Form requesting the Town's input related to this conditional use permit request was mailed to the Town Clerk on May 9, 2024. On May 20th, 2024, the Town Board approved the request.

- (4) LIMITATIONS. With regard to an activity described in sub. (2) (a) or a class 2 collocation, a political subdivision may not do any of the following:**
- (a)** Impose environmental testing, sampling, or monitoring requirements, or other compliance measures for radio frequency emissions, on mobile service facilities or mobile radio service providers.
 - (b)** Enact an ordinance imposing a moratorium on the permitting, construction, or approval of any such activities.
 - (c)** Enact an ordinance prohibiting the placement of a mobile service support structure in particular locations within the political subdivision.
 - (d)** Charge a mobile radio service provider a fee in excess of one of the following amounts:
 - 1.** For a permit for a class 2 collocation, the lesser of \$500 or the amount charged by a political subdivision for a building permit for any other type of commercial development or land use development.
 - 2.** For a permit for an activity described in sub. (2) (a), \$3,000.
 - (e)** Charge a mobile radio service provider any recurring fee for an activity described in sub. (2) (a) or a class 2 collocation.
 - (f)** Permit 3rd party consultants to charge the applicant for any travel expenses incurred in the consultant's review of mobile service permits or applications.
 - (g)** Disapprove an application to conduct an activity described under sub. (2) (a) based solely on aesthetic concerns.
 - (gm)** Disapprove an application to conduct a class 2 collocation on aesthetic concerns.
 - (h)** Enact or enforce an ordinance related to radio frequency signal strength or the adequacy of mobile service quality.
 - (i)** Impose a surety requirement, unless the requirement is competitively neutral, nondiscriminatory, and commensurate with the historical record for surety requirements for other facilities and structures in the political subdivision which fall into disuse. There is a rebuttable presumption that a surety requirement of \$20,000 or less complies with this paragraph.
 - (j)** Prohibit the placement of emergency power systems.
 - (k)** Require that a mobile service support structure be placed on property owned by the political subdivision.
 - (L)** Disapprove an application based solely on the height of the mobile service support structure or on whether the structure requires lighting.
 - (m)** Condition approval of such activities on the agreement of the structure or mobile service facility owner to provide space on or near the structure for the use of or by the political subdivision at less than the market rate, or to provide the political subdivision other services via the structure or facilities at less than the market rate.
 - (n)** Limit the duration of any permit that is granted.
 - (o)** Require an applicant to construct a distributed antenna system instead of either constructing a new mobile service support structure or engaging in collocation.
 - (p)** Disapprove an application based on an assessment by the political subdivision of the suitability of other locations for conducting the activity.
 - (q)** Require that a mobile service support structure, existing structure, or mobile service facilities have or be connected to backup battery power.
 - (r)** Impose a setback or fall zone requirement for a mobile service support structure that is different from a requirement that is imposed on other types of commercial structures.
 - (s)** Consider an activity a substantial modification under sub. (1) (s) 1. or 2. if a greater height is necessary to avoid interference with an existing antenna.
 - (t)** Consider an activity a substantial modification under sub. (1) (s) 3. if a greater protrusion is necessary to shelter the antenna from inclement weather or to connect the antenna to the existing structure by cable.
 - (u)** Limit the height of a mobile service support structure to under 200 feet.
 - (v)** Condition the approval of an application on, or otherwise require, the applicant's agreement to indemnify or insure the political subdivision in connection with the political subdivision's exercise of its authority to approve the application.
 - (w)** Condition the approval of an application on, or otherwise require, the applicant's agreement to permit the political subdivision to place at or collocate with the applicant's support structure any mobile service facilities provided or operated by, whether in whole or in part, a political subdivision or an entity in which a political subdivision has a governance, competitive, economic, financial or other interest.



Land Use Planning & Zoning Department

County Government Center
571 County Road A
Green Lake, WI 54941-8630

Phone 920-294-4156 Website: <http://www.greenlakecountywi.gov>

Land Development Code Enforcement County Surveyor GIS Land Information

APPLICATION FOR CONDITIONAL USE PERMIT

The purpose of the conditional use permit process is to utilize the minimum review standards of the zoning ordinance (Green Lake County Code Chapter 350, Section 56) to determine the effect of the proposed use on the neighborhood and suitability of proposed development at the proposed location. Conditions are added to the request to minimize any impacts to the surrounding properties, if the request is consistent with the adopted Green Lake County Comprehensive Plan.

Prior to the Department accepting the application, the following items need to be completed and/or provided by the owner or applicant:

- ☐ Consultation with the staff in the Land Use Planning & Zoning Department
- ☐ Application completely filled out, including property information, legal description, and detailed description of proposed use
- ☐ Detailed site plan on paper not larger than 11" x 17", drawn to scale and including location of: lot lines, all building and structures with dimensions, all components of private onsite wastewater treatment systems like septic tanks and drain fields, public and private roads including access easements, navigable waterbodies, well location, and the setback distances between all the above
- ☐ Fee as set by the Committee for a public hearing item

OPERATIONAL PLAN NARRATIVE

The operational plan is intended to address all components of the business, from establishment through to present operation. This narrative should be two or more paragraphs that address the following questions, from the perspective of the proposed use:

- What is the history of the business and/or applicant?
- What is the history of the property and its current use?
- Describe in detail the proposed use of the property.
- If applicable, include an operation and/or maintenance plan.
- When will the property be used? (Seasonally? Set daily hours?)
- What will be done with the current structures, if any?
- Will any new structures be built? If yes, how will they be used and where will they be located?
- What hazards, concerns, or disruptions may your proposed use pose to neighboring properties and the community as a whole? How can those concerns be addressed?
- What will be done to protect the human and environmental health of the surrounding area from negative impacts of this use?
- Why was this property chosen for this business activity? How will this use benefit the community by being located on this specific property?
- How would this business activity meet goals and objectives of the County's Comprehensive Plan? (This will be clear after meeting with Department staff prior to submitting the Conditional Use Permit application, as required above.)

Fee Received (Non-Refundable) \$375

Date _____

By signing and submitting this completed application with public hearing fee, the applicant or agent requests the Land Use Planning & Zoning Committee consider the conditional use permit request at the next available public hearing.

PROPERTY OWNER / APPLICANT

Name Sunny Drive Farms LLC (Matt Graff)

Mailing Address W1366 Sunny Drive, Markesan, WI 53946

Phone Number 920-517-1279 Email sunnydrivefarmllc@yahoo.com

Signature *Matt Graff Member* Date 4-19-21

AGENT IF OTHER THAN OWNER

Name Bug Tussel 1, LLC (agent- Lee Larson)

Mailing Address 417 Pine St. Green Bay, WI 54301

Phone Number 608-276-5555 Email lee.larsen@btussel.com

Signature *Lee Larson* Date 4-18-24

PROPERTY INFORMATION

Town of Mackford Location of Property Farm Field at intersection of Sunny DR and CTY RD A

Section 28 Town 14 N Range 13 E

Affected Parcel Number(s) 010-00571-0000 Affected Acres 1.5

Subdivision _____ Lot _____ Block _____

CSM _____ Lot _____ or COS _____

Legal Description

The South Half of the Southeast Quarter of Section 28, Township 14 North, Range 13 East, and the Northwest Quarter (NW¼) of the Northeast Quarter (NE ¼) of Section 33, Township 14 North, Range 13 East. EXCEPT lands sold to Green Lake County as described in Volume 189 of Records on Page 509 as Document no. 179359. Also except Lot One (1) of Certified Survey Map No. 3514. ALL OF THE ABOVE DESCRIBED LANDS lying and being in the Town of Mackford, County of Green Lake, State of Wisconsin.

Current Zoning Classification A-1 Farmland Preservation

Present Use of Property: (List all current uses and improvements, i.e. home, store, farm field, wooded, etc.)

Farm Field

PROPOSAL - Use separate or additional sheet(s) IF necessary

Describe **specifically** the nature of this request (List all proposed uses of the parcel.) What do you plan to do? _____

To build a new 300 foot communication tower for high speed Internet.

If this application is for a use that will be contained to a part of the parcel, specify the exact dimensions of the affected area. 50 x 50 ft compound and 3 guy wires and their supporting structures.

☐ If this box is checked, provide the following information:

Proposed use has additional minimum development standards in Section _____.
Explain how your proposal meets or exceeds these requirements.

OPERATIONAL PLAN NARRATIVE

To provide hi speed broadband internet to the rural community and invite cell carriers to collocate on the tower.

[illegible]

AFFIDAVIT OF ADAM CRAIG

STATE OF WISCONSIN)
) ss.
COUNTY OF BROWN)

I, the undersigned, being duly sworn, state as follows:

1. I am an adult resident of the State of Wisconsin and a radio-frequency engineer employed by Bug Tussel Wireless, LLC and Cloud 1, LLC.
2. I make this affidavit in support of Cloud 1, LLC's application to the Town of Mackford and Green Lake County to construct a new communications tower located at: Tax Key Number: 010005710000 (Owned by: Sunny Drive Farms LLC (Matt Graff), W1366 Sunny Drive, Markesan, WI 53946).
3. Bug Tussel Wireless, LLC is a duly licensed mobile service provider and shall be the anchor tenant on the Cloud 1, LLC tower proposed property.
4. One of my job responsibilities is to design and direct the placement of the Bug Tussel Wireless antenna facilities throughout its entire mobile service network.
5. Attached hereto and incorporated herein is a true and correct copy of an analysis performed by me which reviews existing tower structures within one (1) miles of the proposed tower location, and I have found that there are no collocation prospects for Bug Tussel Wireless, LLC. The attached RF analysis supports my findings.
6. Towers that are under 200 ft. in height are generally not populated in searchable national tower databases as they are generally not registered by the FCC. Further, because of the reduced height of a tower below 200 ft. in height vs. that in this affidavit here, they are not considered suitable for our use as they do not allow for proper coverage of the necessary area for our network needs.
7. The proposed site will have Bug Tussel Wireless fixed internet services.

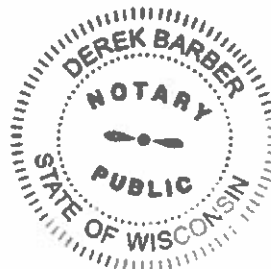
Adam G.
(Signature)

2-23-24
(Date)

Adam Craig

Subscribed and sworn to before me
this 23 day of February, 2024.

Derek Barber, Notary Public
Brown County, Wisconsin
My Commission Expires Permanent



February 23, 2024

RF Analysis -- Mackford

Search Ring Center: 43.652558351 -88.974243337

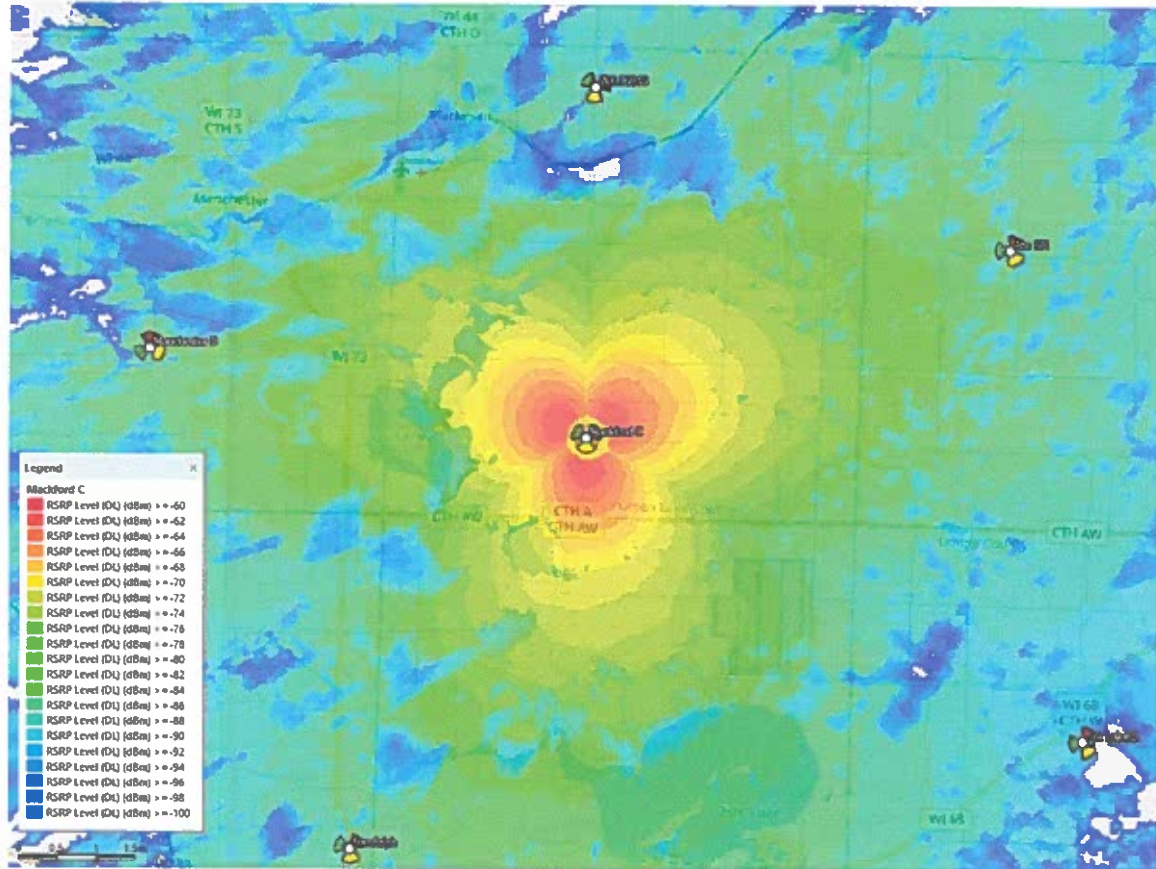
Proposed Tower Location: 43.648441 -88.954945

Towers within a 1-mile radius: Zero

The first map shows two locations. The first is the search center (Mackford SR 110223), the second is the proposed location (Mackford C), and the others are sites that were proposed but not selected to build (Mackford B, Mackford B).



This next map shows the coverage from the proposed location. We are proposing to build a 300' tower for AT&T Wireless services, and Bug Tussel Wireless fixed internet. This is a very good location for our tower. There are no existing structures in the search area that we could collocate on, so building a new tower makes sense.



Conclusion:

The proposed Mackford C site is the optimal location for Bug Tussel Wireless to build a new tower. There are no collocation options within (1.0) mile of this locality. This location is also a good fit with our plan to provide broadband service to rural Wisconsin.

Submitted by:

Adam Craig

RF Engineer

Bug Tussel Wireless, LLC

adam.craig@btussel.com

920-940-0121



LICENSE OR
PERMIT BOND

Bond 354228970

LICENSE OR PERMIT BOND

KNOW ALL BY THESE PRESENTS, That we, CLOUD 1 SERVICES, LLC

417 Pine Street, Green Bay, WI 54301

as Principal, and the Liberty Mutual Insurance Company, a MA corporation,

as Surety, are held and firmly bound unto GREEN LAKE COUNTY, WI

, as Obligees,

in the sum of _____

Twenty Thousand and 00/100 Dollars (\$20,000.00)

for which sum, well and truly to be paid, we bind ourselves, our heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these presents.

Signed and sealed this 23rd day of February, 2024.

THE CONDITION OF THIS OBLIGATION IS SUCH, That WHEREAS, the Principal has been or is about to be granted a license or permit to ~~do business as~~ remove the tower at the Mackford Site - Parcel #010005710000 by the Obligees.

NOW, Therefore, if the Principal well and truly comply with applicable local ordinances, and conduct business in conformity therewith, then this obligation to be void; otherwise to remain in full force and effect.

PROVIDED, HOWEVER; 1. This bond shall continue in force:

☐ Until _____, _____, or until the date of expiration of any Continuation Certificate executed by the Surety

OR

☒ Until canceled as herein provided.

2 This bond may be canceled by the Surety by the sending of notice in writing to the Obligees, stating when, not less than thirty days thereafter, liability hereunder shall terminate as to subsequent acts or omissions of the Principal.

CLOUD 1 SERVICES, LLC

Principal

By [Signature]



Liberty Mutual Insurance Company

By [Signature]

Roxanne Jensen Attorney-in-Fact



This Power of Attorney limits the acts of those named herein, and they have no authority to bind the Company except in the manner and to the extent herein stated.

Liberty Mutual Insurance Company
The Ohio Casualty Insurance Company
West American Insurance Company

Certificate No: 8209723-354019

POWER OF ATTORNEY

KNOWN ALL PERSONS BY THESE PRESENTS: That The Ohio Casualty Insurance Company is a corporation duly organized under the laws of the State of New Hampshire, that Liberty Mutual Insurance Company is a corporation duly organized under the laws of the State of Massachusetts, and West American Insurance Company is a corporation duly organized under the laws of the State of Indiana (herein collectively called the "Companies"), pursuant to and by authority herein set forth, does hereby name, constitute and appoint Brian Krause, Kelly Cody, Marc Sacia, Roxanne Jensen, Trudy A. Szalewski

all of the city of Milwaukee state of WI each individually if there be more than one named, its true and lawful attorney-in-fact to make, execute, seal, acknowledge and deliver, for and on its behalf as surety and as its act and deed, any and all undertakings, bonds, recognizances and other surety obligations, in pursuance of these presents and shall be as binding upon the Companies as if they have been duly signed by the president and attested by the secretary of the Companies in their own proper persons.

IN WITNESS WHEREOF, this Power of Attorney has been subscribed by an authorized officer or official of the Companies and the corporate seats of the Companies have been affixed thereto this 3rd day of April, 2023.



Liberty Mutual Insurance Company
The Ohio Casualty Insurance Company
West American Insurance Company

By: David M. Carey
David M. Carey, Assistant Secretary

State of PENNSYLVANIA ss
County of MONTGOMERY

On this 3rd day of April, 2023 before me personally appeared David M. Carey, who acknowledged himself to be the Assistant Secretary of Liberty Mutual Insurance Company, The Ohio Casualty Company, and West American Insurance Company, and that he, as such, being authorized so to do, execute the foregoing instrument for the purposes therein contained by signing on behalf of the corporations by himself as a duly authorized officer.

IN WITNESS WHEREOF, I have hereunto subscribed my name and affixed my notarial seal at Plymouth Meeting, Pennsylvania, on the day and year first above written.



Commonwealth of Pennsylvania - Notary Seal
Teresa Pastella, Notary Public
Montgomery County
My commission expires March 28, 2025
Commission number 1126044
Member, Pennsylvania Association of Notaries

By: Teresa Pastella
Teresa Pastella, Notary Public

This Power of Attorney is made and executed pursuant to and by authority of the following By-laws and Authorizations of The Ohio Casualty Insurance Company, Liberty Mutual Insurance Company and West American Insurance Company which resolutions are now in full force and effect reading as follows:

ARTICLE IV - OFFICERS: Section 12 Power of Attorney.

Any officer or other official of the Corporation authorized for that purpose in writing by the Chairman or the President, and subject to such limitation as the Chairman or the President may prescribe, shall appoint such attorneys-in-fact, as may be necessary to act in behalf of the Corporation to make, execute, seal, acknowledge and deliver as surety any and all undertakings, bonds, recognizances and other surety obligations. Such attorneys-in-fact, subject to the limitations set forth in their respective powers of attorney, shall have full power to bind the Corporation by their signature and execution of any such instruments and to attach thereto the seal of the Corporation. When so executed, such instruments shall be as binding as if signed by the President and attested to by the Secretary. Any power or authority granted to any representative or attorney-in-fact under the provisions of this article may be revoked at any time by the Board, the Chairman, the President or by the officer or officers granting such power or authority.

ARTICLE XIII - Execution of Contracts: Section 5. Surety Bonds and Undertakings.

Any officer of the Company authorized for that purpose in writing by the chairman or the president, and subject to such limitations as the chairman or the president may prescribe, shall appoint such attorneys-in-fact, as may be necessary to act in behalf of the Company to make execute, seal, acknowledge and deliver as surety any and all undertakings, bonds, recognizances and other surety obligations. Such attorneys-in-fact subject to the limitations set forth in their respective powers of attorney, shall have full power to bind the Company by their signature and execution of any such instruments and to attach thereto the seal of the Company. When so executed such instruments shall be as binding as if signed by the president and attested by the secretary.

Certificate of Designation - The President of the Company, acting pursuant to the Bylaws of the Company, authorizes David M. Carey, Assistant Secretary to appoint such attorneys-in-fact as may be necessary to act on behalf of the Company to make, execute, seal, acknowledge and deliver as surety any and all undertakings, bonds, recognizances and other surety obligations.

Authorization - By unanimous consent of the Company's Board of Directors, the Company consents that facsimile or mechanically reproduced signature of any assistant secretary of the Company, wherever appearing upon a certified copy of any power of attorney issued by the Company in connection with surety bonds, shall be valid and binding upon the Company with the same force and effect as though manually affixed.

I, Renee C. Llewellyn, the undersigned, Assistant Secretary, The Ohio Casualty Insurance Company, Liberty Mutual Insurance Company, and West American Insurance Company do hereby certify that the original power of attorney of which the foregoing is a full, true and correct copy of the Power of Attorney executed by said Companies, is in full force and effect and has not been revoked.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed the seals of said Companies this 23rd day of Feb., 2024.



By: Renee C. Llewellyn
Renee C. Llewellyn, Assistant Secretary

Not valid for mortgage, note, loan, letter of credit, currency rate, interest rate or residual value guarantees.

For bond and/or Power of Attorney (POA) verification inquiries, please call 610-832-8240 or email HOSUR@libertymutual.com.

February 28, 2024

Ms. Alicia Broeren
Cloud 1 Services, LLC
130 Walnut St.
Suite 306
Green Bay, WI 54305 - 1060



B+T Group
1717 S. Boulder, Suite 300
Tulsa, OK 74119
(918) 587-4630
btwo@btgrp.com

Subject: Fall Certification Letter
Arcosa Designation: Arcosa Project Number: A804
Arcosa Site Name: Mackford
Engineering Firm Designation: B+T Group Project Number: 169966.001.01.0001
Site Data: Mackford
300' Guyed Tower

To Whom it May Concern:

As Requested by Arcosa Telecom Structures on behalf of Cloud 1 Services, LLC, B+T Group is pleased to submit this "Fall Certification Letter" for the 300' guyed tower to be constructed at the **Mackford** site.

This tower will be designed in accordance with the TIA 222-G standard for Green Lake County, WI. The tower will be designed to support antennas and transmission lines for four wireless carriers. The design criteria are more particularly described as follows:

Design Wind Speed: 89 mph 3-sec gust (no ice), 40mph 3-sec gust (0.75" ice)
Structure Class: II
Exposure Category: C
Topographic Category: 1

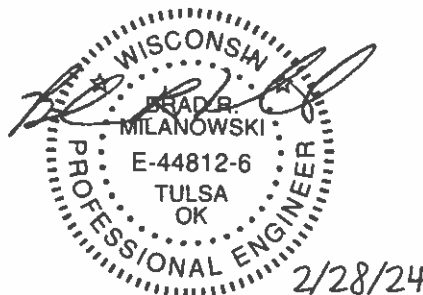
295'—Wireless Carrier 1 (CaAa= 150 Sq. Ft.) w/ (12) 1 5/8" transmission lines
285'—Wireless Carrier 2 (CaAa= 200 Sq. Ft.) w/ (12) 1 5/8" transmission lines
275'—Wireless Carrier 3 (CaAa= 150 Sq. Ft.) w/ (12) 1 5/8" transmission lines
265'—Wireless Carrier 4 (CaAa= 150 Sq. Ft.) w/ (12) 1 5/8" transmission lines

Currently it is our understanding that this structure be designed such that, if a failure were to occur, the tower would fall within a radius of 180' from the base of the structure. It should be understood that communication structures are designed in accordance with strict structural standards and it is extremely rare that well-maintained towers fail under normal operational conditions. However, in the highly unlikely event that this tower were to experience operational failure, the failure mode would most likely be compression buckling. In a compression buckling failure, it is reasonable to assume a structure of this type would most likely collapse and fall on itself within a radius of 180' from the base of the tower. It should be understood that this opinion does not consider unpredictable extreme catastrophic events for which the structure is not designed. However, any damage to surrounding property caused by the tower failing during such an event would be relatively insignificant when compared to the damage caused to the surrounding property by the event itself.

I hope this letter satisfies your concerns. Please let me know if I may be of further assistance.

Prepared By: Luke Antloger

Brad Milanowski, P.E.



DRIVING DIRECTIONS

OR MAP LOCATION



NOTE: TO SCAN THE QR CODE, DOWN LOAD A "QR READER APP"

AERIAL VIEW OF SITE



GENERAL LOCATION



SITE LOCATION



MACKFORD CONSTRUCTION DRAWINGS

GENERAL NOTES

DESCRIPTION OF PROPOSED SITE USE
PROPOSED ADDITION OF NEW COMPOUND



TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND
FACILITIES BEFORE YOU DIG IN WISCONSIN

DIGGERS HOTLINE 811 OR
1-800-242-8511

WISCONSIN STATUTE 182.0175 (1974) REQUIRES MIN. OF 3
WORK DAYS NOTICE BEFORE YOU EXCAVATE.

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GENERAL:

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G-2 GROUNDING DETAIL
G-3 GROUNDING DETAIL
G-4 GROUNDING DETAIL

PROJECT INFORMATION

SITE DATA:

SITE NAME: MACKFORD
ADDRESS:
SUNNY DRIVE
MACKFORD, WI 53066
GREEN LAKE COUNTY
TAX PIN # 10-00571-0000

LATITUDE: N 43° 38' 54.14" NAD 83
LONGITUDE: W 88° 57' 19.11" NAD 83
GROUND ELEV: 1048 FT AMSL

OCCUPANCY: UNMANNED

LESSORS:

CLOUD 1
RAY BUILDINGS
417 PINE STREET
GREEN BAY, WI 54301
PH: (920) 940-0147

CONSULTING ENGINEER:

RAMAKER
855 COMMUNITY DRIVE
SALUK CITY, WI 53563
CONTACT: STEVE WIDEN
PH: (920) 643-4100
EMAIL: swiden@ramaker.com



417 PINE STREET
GREEN BAY, WI 54301
PH: (920) 940-0147

Certification I Seal
I hereby certify that the plan, specification, or report was prepared
by me or under my direct supervision and that I am a duly Licensed
Professional Engineer under the laws of the State of Wisconsin.



Signature: *Michael L. Pinske* Date: 4/10/2024

MARK	DATE	DESCRIPTION
ISSUE	FINAL	DATE ISSUED: 04/10/2024
PROJECT TITLE:		

MACKFORD

PROJECT INFORMATION
SUNNY DRIVE
MACKFORD, WI 53066
GREEN LAKE COUNTY
TAX ID# 10-00571-0000
SHEET TITLE

TITLE SHEET

SCALE: NONE

58187
T-1

1:5810053187CAD04187, Mackford.dwg, Printed by: Ramaker on Apr 10, 2024, 11:48am
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DRAWN BY: LBR
CHECKED BY: SEV

GENERAL NOTES

1. ALL EQUIPMENT FURNISHED AND WORK PERFORMED UNDER THE CONTRACT DOCUMENTS SHALL BE GUARANTEED AGAINST DEFECTS IN MATERIALS OR WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF COMPLETION OF THE PROJECT. THE NATIONAL ELECTRICAL SAFETY CODE, OSHA, AND ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS AND ORDINANCES. ALL ELECTRICAL EQUIPMENT PROVIDED UNDER THIS CONTRACT SHALL BE NEW EXCEPT WHERE OTHERWISE NOTED AND SHALL COMPLY WITH THE REQUIREMENTS OF THE UNDERWRITERS LABORATORIES AND BEAR THE U.L. LABEL.
2. OWNER OR HIS ARCHITECT/ENGINEER RESERVE THE RIGHT TO REJECT ANY EQUIPMENT OR MATERIALS WHICH IN HIS OPINION ARE NOT IN COMPLIANCE WITH THE CONTRACT DOCUMENTS. EITHER BEFORE OR AFTER INSTALLATION AND THE EQUIPMENT SHALL BE REPLACED WITH EQUIPMENT CONFORMING TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS BY THE CONTRACTOR AT NO COST TO THE OWNER OR HIS ARCHITECT/ENGINEER.
4. THE CONTRACTOR SHALL SUPPORT, BRACE AND SECURE EXISTING STRUCTURE AS REQUIRED. CONTRACTOR IS SOLELY RESPONSIBLE FOR PROTECTION OF ANY EXISTING STRUCTURES DURING CONSTRUCTION. FIELD VERIFY ALL EXISTING DIMENSIONS WHICH AFFECT THE NEW CONSTRUCTION.
5. THE CONTRACTOR SHALL NOT ALLOW OR CAUSE ANY OF THE WORK TO BE COVERED UP OR ENCLOSED UNTIL IT HAS BEEN INSPECTED BY THE GOVERNING AUTHORITIES. ANY WORK THAT IS ENCLOSED OR COVERED UP BEFORE SUCH INSPECTION AND TEST SHALL BE UNCOVERED AT THE CONTRACTOR'S EXPENSE, AFTER IT HAS BEEN INSPECTED, THE CONTRACTOR SHALL RESTORE THE WORK TO ITS ORIGINAL CONDITION AT HIS OWN EXPENSE.
6. ALL EXISTING UTILITIES, FACILITIES, CONDITIONS AND THEIR DIMENSIONS SHOWN ON PLANS HAVE BEEN PLOTTED FROM AVAILABLE RECORDS. THE ARCHITECT/ENGINEER AND OWNER ASSUME NO RESPONSIBILITY WHATSOEVER AS TO THE SUFFICIENCY OR ACCURACY OF THE INFORMATION SHOWN ON THE PLANS OR THE MANNER OF THEIR REMOVAL OR ADJUSTMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXACT LOCATION OF ALL SAID UTILITIES AND FACILITIES PRIOR TO START OF CONSTRUCTION. CONTRACTOR SHALL ALSO OBTAIN FROM EACH UTILITY COMPANY DETAILED INFORMATION RELATIVE TO WORKING SCHEDULES AND METHODS OF REMOVING OR ADJUSTING AFFECTED UTILITIES.
7. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES BOTH HORIZONTALLY AND VERTICALLY PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES OR DOUBTS AS TO THE INTERPRETATION OF PLANS SHALL BE IMMEDIATELY REPORTED TO THE PROJECT MANAGER FOR RESOLUTION AND INSTRUCTION. AND NO FURTHER WORK SHALL BE PERFORMED UNTIL DISCREPANCY IS CHECKED AND CORRECTED BY THE ARCHITECT/ENGINEER. FAILURE TO SECURE SUCH INSTRUCTION MEANS CONTRACTOR WILL HAVE WORKED AT HIS OWN RISK AND EXPENSE.
8. CONTRACTORS SHALL CLEAN ENTIRE SITE AFTER CONSTRUCTION SUCH THAT NO PAPERS, TRASH, DEBRIS, WEEDS, BRUSH OR ANY OTHER DEPOSITS REMAIN. ALL MATERIALS COLLECTED DURING CLEANING OPERATIONS SHALL BE PROPERLY DISPOSED OF OFF-SITE BY THE CONTRACTOR.
9. ALL SITE WORK SHALL BE CAREFULLY COORDINATED BY THE CONTRACTOR WITH LOCAL GAS, ELECTRIC, TELEPHONE, AND ANY OTHER UTILITY COMPANIES HAVING JURISDICTION OVER THIS LOCATION.
10. DURING CONSTRUCTION, THE CONTRACTOR SHALL AT ALL TIMES MAINTAIN THE UTILITIES OF THE BUILDING/SITE WITHOUT INTERRUPTION. SHOULD IT BE NECESSARY TO INTERRUPT ANY SERVICE OR UTILITY, THE CONTRACTOR SHALL SECURE PERMISSION IN WRITING FROM THE BUILDING/PROPERTY OWNER FOR SUCH INTERRUPTION. AT LEAST 72 HOURS IN ADVANCE, ANY INTERRUPTION SHALL BE MADE WITH A MINIMUM AMOUNT OF INCONVENIENCE TO THE BUILDING/PROPERTY OWNER AND ANY SUCH SHUTDOWN TIME SHALL BE COORDINATED WITH THE BUILDING/PROPERTY OWNER.
11. THIS CONTRACTOR SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH THE PLANS AND SHALL VERIFY EXISTING SITE CONDITIONS AT THE JOB SITE BEFORE SUBMITTING BID. FAILURE TO RECOGNIZE WORK REQUIRED SHALL BE AT THE EXPENSE OF THIS CONTRACTOR. NO CONSIDERATION SHALL BE GIVEN FOR ADDITIONAL COMPENSATION AFTER THE LETTING OF BIDS.
12. ENTIRE INSTALLATION SHALL BE PERFORMED IN A FIRST-CLASS WORKMAN LIKE MANNER AND SHALL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES. THE COMPLETED SYSTEMS SHALL BE FULLY OPERATIONAL; ACCEPTANCE BY THE OWNER SHALL BE A CONDITION OF THE CONTRACT. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES IN ORDER TO AVOID INTERFERENCE'S PRESERVING MAXIMUM HEADROOM AND AVOID OMISSIONS. ALL MATERIALS WORKMANSHIP AND EQUIPMENT SHALL BE GUARANTEED FOR ONE (1) YEAR AFTER SYSTEM ACCEPTANCE.
13. ALL MATERIALS USED SHALL BE NEW AND BEAR THE UL LABEL AND BE OF THE APPROPRIATE NEMA STANDARD.
14. CONTRACTOR SHALL INCLUDE ALL MISCELLANEOUS ITEMS REQUIRED TO COMPLETE THE WORK.
15. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND REQUIRED INSPECTION FEES.

16. IT SHALL BE THE RESPONSIBILITY OF THIS CONTRACTOR TO COORDINATE AND REVIEW THE ELECTRICAL CHARACTERISTICS, AMPACITY AND OTHER REQUIREMENTS OF ALL EQUIPMENT PRIOR TO INSTALLATION.
17. IT SHALL BE THE RESPONSIBILITY OF THIS PROJECT MANAGER TO COORDINATE THE LOCATIONS OF CONDUIT ROUTING, EQUIPMENT, LIGHTING ETC. WITH ALL OTHER TRADES IN THE FIELD PRIOR TO INSTALLATION.
18. FOR CLARITY OF ALL PLANS, SOME EQUIPMENT CONDUIT AND WIRE HAS NOT BEEN SHOWN. IT IS THE RESPONSIBILITY OF THIS CONTRACTOR TO FURNISH AND INSTALL COMPLETE AND OPERATING SYSTEMS INCLUDING ALL CONDUIT AND WIRING.
19. THE CONTRACTOR SHALL INSPECT THE COMPLETE SET OF DRAWINGS AND SPECIFICATIONS TO DETERMINE HIS ENTIRE SCOPE OF WORK. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND EXTENT OF DEMOLITION AND NEW WORK FOR THE PROJECT PRIOR TO SUBMITTING HIS BID. MATERIALS OR WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE. UNLESS NOTED OTHERWISE, ANY FAILURE OF EQUIPMENT OR WORK DUE TO DEFECTS IN MATERIALS OR WORKMANSHIP SHALL BE CORRECTED BY THE CONTRACTOR AT NO COST TO THE OWNER.
20. THE ELECTRICAL INSTALLATION IS TO BE IN STRICT ACCORDANCE WITH THE APPLICABLE RULES AND REGULATIONS OF ALL LOCAL, STATE AND FEDERAL ELECTRICAL CODES AND THE LOCAL UTILITY COMPANY REQUIREMENTS OR ANY OTHER AUTHORITIES HAVING LAWFUL JURISDICTION.

SITE WORK

1. THE CONTRACTOR SHALL CALL UTILITIES PRIOR TO THE START OF CONSTRUCTION. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES WHERE ENCOUNTERED IN THE WORK SHALL BE PROTECTED AT ALL TIMES AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY THE PROJECT MANAGER. EXTREME CAUTION SHOULD BE USED BY THE CONTRACTOR WHEN EXCAVATING OR PIER DRILLING AROUND OR NEAR UTILITIES. CONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW. THIS WILL INCLUDE BUT NOT BE LIMITED TO:
 - A. FALL PROTECTION
 - B. CONFINED SPACE
 - C. ELECTRICAL SAFETY
 - D. TRENCHING AND EXCAVATION
2. REMOVE FROM SITE/OWNER'S PROPERTY ALL WASTE MATERIALS, UNUSED EXCAVATED MATERIAL, INCLUDING MATERIAL CLASSIFIED UNSATISFACTORY, CONTAMINATED OR DANGEROUS TRASH AND DEBRIS, AND DISPOSE OF IN A LEGAL MANNER AS REQUIRED.
3. ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK SHALL BE REMOVED AND/OR CAPPED, PLUGGED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, SUBJECT TO THE APPROVAL OF ENGINEERING.
4. THE AREAS OF THE OWNERS PROPERTY DISTURBED BY THE WORK AND NOT COVERED BY THE BUILDING OR DRIVEWAY, SHALL BE GRADED TO A UNIFORM SLOPE, FERTILIZED, SEEDED, AND COVERED WITH MULCH AS SPECIFIED IN THE SPECIFICATION LANDSCAPE WORK (AS REQUIRED).
5. CONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION, SHALL BE IN CONFORMANCE WITH THE LOCAL AND 1998 BOCA STANDARD GUIDELINES FOR EROSION AND SEDIMENT CONTROL.
6. CONTRACTOR IS RESPONSIBLE FOR EQUIPMENT SHELTER OR PLATFORM LAYOUT AND CONSTRUCTION STAGING. CONTRACTOR SHALL ESTABLISH GRADE AND LINE STAKES PRIOR TO CONSTRUCTION.

CONCRETE

1. MINIMUM ALLOWABLE CONCRETE COMPRESSIVE STRENGTH SHALL BE 4000 PSI AT 28 DAYS WHEN TESTED IN ACCORDANCE WITH THE AMERICAN SOCIETY FOR TESTING AND MATERIALS METHODS STANDARDS ASTM C1177, ASTM C31 UNLESS OTHERWISE NOTED.
2. CONCRETE FOR ALL FOUNDATIONS, 540 LBS PER CUBIC YARD OF CONCRETE MINIMUM COARST CONTENT FOR 1-INCH MAXIMUM SIZE AGGREGATE, SLUMP RANGE 3 INCHES TO 5 INCHES. TOTAL AIR CONTENT 4 PERCENT TO 7 PERCENT BY VOLUME. AIR ENTRAINING ADMIXTURE REQUIRED TO CONTROL TOTAL AIR CONTENT. WATER REDUCING ADMIXTURE, PERMITTED TO OBTAIN SLUMP OVER THREE INCHES.
3. ALL CONCRETE CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF THE AMERICAN CONCRETE INSTITUTE (ACI 318) BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE AND (ACI 301) STANDARD SPECIFICATION FOR STRUCTURAL CONCRETE.
4. REBAR SHALL BE ASTM A-615 DEFORMED TYPE WITH MINIMUM YIELD STRENGTH OF 60,000 PSI (40,000 PSI GRADE) MAY BE USED FOR TIES & STIRRUPS. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185.
5. DETAILING SHALL BE IN ACCORDANCE WITH MANUAL OF STANDARD PRACTICE OF DETAILING REINFORCED CONCRETE STRUCTURES (ACI 318-315 LATEST EDITION).
6. REINFORCING STEEL SHALL BE ACCURATELY PLACED AND ADEQUATELY SECURED IN POSITION. LOCATION OF REINFORCEMENT SHALL BE INDICATED ON THE DRAWINGS. THE FOLLOWING MINIMUM COVER (INCHES) FOR REINFORCEMENT SHALL BE PROVIDED, EXCEPT AS NOTED OTHERWISE: (1) CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH - 3" EXPOSED TO EARTH OR WEATHER.
 - A. 18 THROUGH #18 - 2"
 - B. 18 BAR AND SMALLER - 1 1/2"
7. TESTS
CONCRETE MATERIALS AND OPERATIONS SHALL BE TESTED AND INSPECTED BY THE CONTRACTOR AS THE WORK PROGRESSES. FAILURE TO DETECT ANY DEFECTIVE WORK OR MATERIAL SHALL NOT IN ANY WAY PREVENT LATER REJECTION WHEN SUCH DEFECT IS DISCOVERED NOR SHALL IT OBLIGATE THE ENGINEER FOR FINAL ACCEPTANCE.

STRUCTURAL STEEL

1. DETAIL, FABRICATE AND ERECT STRUCTURAL STEEL IN ACCORDANCE WITH THE LATEST AISC MANUAL OF STEEL CONSTRUCTION, AWS D1.1 AND THE STRUCTURAL STEEL SHALL BE AS FOLLOWS:
 - A. ASTM A36, GRADE 36, ROLLED STEEL, RODS, PLATES, U-BOLTS AND ANCHOR BOLTS
 - B. ASTM A325 BOLTS BEARING TYPE
 - C. ALL STEEL SHALL BE HOT-DIP GALVANIZED IN ACCORDANCE WITH ASTM A123.
2. THE CONTRACTOR SHALL PROVIDE ADEQUATE SHORING AND/OR BRACING WHERE REQUIRED DURING CONSTRUCTION UNTIL ALL CONNECTIONS ARE COMPLETE.
3. ANY FIELD CHANGES OR SUBSTITUTIONS SHALL HAVE PRIOR APPROVAL FROM THE ENGINEER.
4. TIGHTEN BOLTS TO MANUFACTURER'S SPECIFICATIONS.
5. WELDING
 - A. ALL WELDING SHALL BE DONE BY CERTIFIED WELDERS. CERTIFICATION DOCUMENTS SHALL BE MADE AVAILABLE FOR ENGINEER'S AND/OR OWNER'S REVIEW IF REQUESTED.
 - B. WELDING ELECTRODES FOR MANUAL SHIELDED METAL ARC WELDING SHALL CONFORM TO ASTM A-233 E70 SERIES, BARE ELECTRODES AND GRANULAR FLUX USED IN THE SUBMERGED ARC PROCESS SHALL CONFORM TO AISC SPECIFICATION.
 - C. FIELD WELDING SHALL BE DONE AS PER AWS D1.1 REQUIREMENTS VISUAL INSPECTION IS ACCEPTABLE.

PROTECTION

A. UPON COMPLETION OF ERECTION INSPECT ALL GALVANIZED STEEL AND PAINT. ANY FIELD CUTS, WELDS, OR GALVANIZED BREAKS WITH ZINC BASED PAINT (GALVANOX, DRY GALT OR ZINC IT). COLOR TO MATCH THE GALVANIZING PROCESS.

WORK INCLUDED:

- A. THE CONTRACTOR SHALL ASSIST ANTENNA INSTALLATION CONTRACTOR IN TERMS OF COORDINATION AND SITE ACCESS. ERECTION SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF PERSONNEL AND PROPERTY.
- B. INSTALL ANTENNAS AS INDICATED ON DRAWINGS AND CLOUD 1 SPECIFICATIONS.
- C. INSTALL GALVANIZED STEEL ANTENNA MOUNTS AS INDICATED ON DRAWINGS.
- D. INSTALL FURNISHED GALVANIZED STEEL AND/OR TOWER WAVEGUIDE.
- E. INSTALL COAXIAL CABLES AND TERMINATIONS BETWEEN ANTENNAS AND EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS. WEATHERPROOF ALL CONNECTIONS BETWEEN THE ANTENNA AND EQUIPMENT PER MANUFACTURER'S REQUIREMENTS. TERMINATE ALL COAXIAL CABLE THREE (3) FEET IN EXCESS OF ENTRY POINT LOCATION UNLESS OTHERWISE STATED.
- F. ANTENNA AND COAXIAL CABLE GROUNDING:
 1. ALL EXTERIOR 16 GREEN GROUND WIRE "DAISY CHAIN" CONNECTIONS ARE TO BE WEATHER SEALED WITH ANDREWS CONNECTOR/SPICE WEATHERPROOFING KIT #21213 OR EQUAL.
 2. ALL COAXIAL CABLE GROUNDING KITS ARE TO BE INSTALLED ON STRAIGHT RUNS OF COAXIAL CABLE (NOT WITHIN BENDS).


QUALITY ASSURANCE

1. ALL CONTRACTORS FURNISHED MATERIALS AND EQUIPMENT SPECIFIED ON THE PROJECT SHALL BE NEW AND UNUSED, OF CURRENT MANUFACTURE AND OF THE HIGHEST GRADE.
2. ALL EQUIPMENT, MATERIAL AND THE INSTALLATION METHODS SPECIFIED ON THE PROJECT DRAWINGS SHALL BE DESIGNED AND FABRICATED IN COMPLIANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES AND REGULATIONS AND APPROPRIATE INDUSTRIAL CONSENSUS STANDARDS AND CODES INCLUDING ANSI, IEEE, NEMA, NFPA AND UL. ALL AS REVISED AS OF THE DATE OF THIS WORK PACKAGE.
3. ALL ELECTRICAL ITEMS BOTH CONTRACTOR AND OWNER FURNISHED SHALL BE CHECKED FOR AGREEMENT WITH THE PROJECT DRAWINGS AND SPECIFICATIONS AND SHALL BE VISUALLY INSPECTED TO ENSURE THAT EQUIPMENT IS UNDAMAGED AND IS IN PROPER ALIGNMENT. INSTALLED PER MANUFACTURER'S INSTRUCTIONS. ELECTRICAL CONNECTIONS ARE TIGHT AND PROPERLY INSULATED WHERE REQUIRED. FUSES ARE OF THE PROPER TYPE AND SIZE AND ELECTRICAL ENCLOSURES ARE OF THE PROPER NEMA TYPE.
4. NOTIFY OWNER IN WRITING OF ALL DISCREPANCIES BETWEEN DRAWINGS/SPECIFICATIONS AND FIELD INSTALLATIONS, OR IF THE VISUAL INSPECTIONS SHOW DAMAGE OR IMPROPER INSTALLATION.
5. GENERAL DURING AND UPON COMPLETION OF THE WORK, ARRANGE AND PAY ALL ASSOCIATED INSPECTIONS OF ALL ELECTRICAL WORK INSTALLED UNDER THIS CONTRACT. IN ACCORDANCE WITH THE CONDITIONS OF THE CONTRACT.
6. INSPECTIONS REQUIRED, AS PER THE LAWS AND REGULATIONS OF THE LOCAL AND/OR STATE AGENCIES HAVING JURISDICTION AT THE PROJECT SITE.

GENERAL UTILITY

ALL ELECTRICAL SITE WORK SHALL CONFORM TO THE NATIONAL ELECTRICAL CODE DATED 2008.

1. THE EQUIPMENT AND MATERIAL SHALL BE FURNISHED AND INSTALLED TO OPERATE SAFELY AND CONTINUOUSLY OUTDOORS WITH NO PROTECTION FROM THE WEATHER.
2. ELECTRICAL WORK REPRESENTED ON THE PROJECT DRAWINGS IS SHOWN DIAGRAMMATICALLY. EXACT LOCATIONS AND ELEVATIONS OF ELECTRICAL EQUIPMENT SHALL BE DETERMINED IN THE FIELD AND VERIFIED WITH THE OWNER'S REPRESENTATIVE.
3. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF TEMPORARY, IF REQUIRED, AND PERMANENT POWER WITH THE LOCAL UTILITY COMPANY. THE TEMPORARY POWER AND ALL HOOKUP COSTS ARE TO BE PAID BY THE CONTRACTOR.

 RAMAKER employees owned (608) 643-4100 www.ramaker.com	
417 PINE STREET GREEN BAY, WI 54301 PH (920) 940-0147	
Revision 1 - See	
MARK DATE DESCRIPTION	
DATE	DATE
DATE	DATE
PROJECT TITLE	
MACKFORD	
PROJECT INFORMATION SUNNY DRIVE MACKFORD, WI 53596 GREENE/CALHOUN AND FIELD TAX ID# 010-00571-0000 SHEET TITLE	
SPECIFICATIONS	
SCALE: NONE	
OWNER	58187
DESIGNER	SP-1

GENERAL UTILITY (CONT.)

4. PROVIDE MOLDED CASE BOLT-ON THERMAL MAGNETIC TRIP SINGLE, TWO OR THREE POLE CIRCUIT BREAKERS. SINGLE POLE CIRCUIT BREAKERS SHALL BE SINGLE HANDLE COMMON TRIP. SHORT CIRCUIT INTERRUPTING RATING SHALL BE AS REQUIRED FOR AVAILABLE FAULT CURRENTS. ALL CIRCUIT BREAKERS, FUSES AND ELECTRICAL EQUIPMENT SHALL HAVE A SHORT CIRCUIT INTERRUPTING RATING EQUAL TO OR GREATER THAN THAT SHOWN ON PROJECT DRAWINGS.
5. ALL ELECTRICAL EQUIPMENT SHALL BE LABELED WITH PERMANENTLY ENGRAVED LAMINATED PHENOLIC NAMEPLATES WITH WHITE OR BLUE BACKGROUND (MINIMUM LETTER HEIGHT SHALL BE 1/2 INCH). NAMEPLATES SHALL BE FASTENED WITH STAINLESS STEEL SCREWS.
6. CONTRACTOR SHALL PERFORM ALL EXCAVATION, TRENCHING, BACKFILLING AND REMOVAL OF DEBRIS IN CONNECTION WITH THE ELECTRICAL WORK IN ACCORDANCE WITH THE PROJECT DRAWINGS. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF UNDERGROUND UTILITIES AND GROUNDING WITH THE FOUNDATION INSTALLATION.
7. CONTRACTOR SHALL PROVIDE ALL NECESSARY SUPPORTS FOR EQUIPMENT INSTALLED AS PART OF THIS PROJECT. SUPPORTS SHALL CONSIST OF GALVANIZED STEEL FRAMES, PLATES, BRACKETS, RACKS AND OTHER SHAPES OF ADEQUATE SIZE AND FASTENED WITH BOLTS, SCREWS OR BY WELDING TO PROVIDE ROID SUPPORT.
8. CONTRACTOR SHALL CALL THE APPROPRIATE UTILITIES PROTECTION SERVICE BEFORE ANY UNDERGROUND WORK IS PERFORMED SUCH AS TRENCHING, EXCAVATING, AND DRIVING GROUND RODS.
9. CONTRACTOR SHALL SEAL AROUND ELECTRICAL PENETRATIONS THROUGH FIRE-RATED WALLS/FLOORS USING APPROVED FIRE STOP MATERIALS TO MAINTAIN THE FIRE RESISTANCE RATING.
10. SHORT CIRCUIT RATINGS: PROVIDE EQUIPMENT WHICHEVER FAULT CURRENT RATINGS AS NEEDED TO MATCH UTILITY COMPANY AVAILABLE FAULT CURRENT.

RACEWAYS

1. CONDUIT AND CONDUIT FITTINGS SHALL MEET ANSI AND NEC STANDARDS FOR MATERIAL AND WORKMANSHIP AND SHALL BE UL LISTED.
 - A. RIGID STEEL CONDUIT (FOR ALL ABOVE GRADE WORK) SHALL CONFORM TO ANSI C84 AND THE REQUIREMENTS OF NEC PARAGRAPH 344 AND BE STANDARD WEIGHT, MILD RIGID STEEL, HOT DIP GALVANIZED WITH INSIDE AND OUTSIDE FINISHED WITH A PROTECTIVE ZINC COATING. COUPLING, ELBOWS AND BENDS SHALL MEET THESE SAME REQUIREMENTS. FITTINGS SHALL BE OF THE GALVANIZED IRON OR STEEL THREADED TYPE.
 - B. PVC CONDUIT (FOR UNDERGROUND WORK) SHALL CONFORM TO UL STANDARD 651-80 AND THE REQUIREMENTS OF NEC PARAGRAPH 347. CONDUIT SHALL BE HEAVY WALL TYPE, SCHEDULE 80 AND SUNLIGHT RESISTANT. FITTINGS SHALL BE OF THE UNTHREADED SOLVENT CEMENT TYPE.
 - C. EMT CONDUIT (FOR USE BEHIND WALLS OR ABOVE SUSPENDED CEILINGS ONLY). ELECTRIC METALLIC TUBING SHALL CONFORM TO ANSI C80.3 AND THE REQUIREMENTS OF NEC PARAGRAPH 348 AND BE PROTECTED ON EXTERIOR WITH A ZINC COATING AND ON INTERIOR SURFACES WITH EITHER A ZINC COATING OR LACQUER ENAMEL. FITTINGS SHALL BE ZINC COATED STEEL.
2. MINIMUM CONDUIT SIZE SHALL BE 3/4 INCH. SIZES NOT SHOWN ON DRAWINGS SHALL BE PER NEC.
3. ALL SPARE CONDUITS SHALL HAVE A METALLIC OR MULL TAPE.
4. CONDUIT SUPPORTS SHALL BE FURNISHED AND INSTALLED BY THE ELECTRICAL CONTRACTOR AND IN ACCORDANCE WITH THE NEC.
5. UNDERGROUND CONDUITS & ENCLOSURES
 - A. INSTALL A WARNING TAPE TWELVE INCHES ABOVE EACH CONDUIT OR SET OF CONDUITS.
 - B. IDENTIFY EACH CONDUIT AT BOTH ENDS.
 - C. INSTALL A MINIMUM OF 26 INCHES BELOW THE FINISHED GRADE, OR DEEPER IF NOTED ON PLAN DRAWINGS.
 - D. USE MANUFACTURED ELECTRICAL PVC ELBOWS AND FITTINGS FOR BELOW GRADE BENDS.
 - E. MAKE JOINTS AND FITTINGS WATERTIGHT ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
 - F. INSTALL A COUPLING BEFORE EACH WALL PENETRATION.
 - G. RESTORE SURFACE FEATURES DISTURBED BY EXCAVATION (AND TRENCHING) IN ALL AREAS.
 - H. ENCLOSURES IN DRY LOCATION SHALL BE NEMA 1.

CONDUCTORS

1. ALL POWER, CONTROL AND COMMUNICATION WIRING SHALL MEET REQUIRED NEMA RATINGS, ASTM, UL AND NEC STANDARDS FOR MATERIAL AND WORKMANSHIP UNLESS OTHERWISE SPECIFIED.
 - A. SERVICE ENTRANCE CONDUCTORS SHALL BE COPPER, 200 VOLT, SUNLIGHT RESISTANT, SUITABLE FOR WET LOCATIONS, TYPE USE-2. THE GROUNDING NEUTRAL CONDUCTOR SHALL BE IDENTIFIED WITH A WHITE MARKING AT EACH TERMINATION.
 - B. CONDUCTORS FOR FEEDER AND BRANCH CIRCUITS SHALL BE COPPER 200 VOLT, TYPE THHN/THWN WITH A MINIMUM SIZE OF #12 AWG.
2. ALL CONDUCTOR ACCESSORIES INCLUDING CONNECTORS, TERMINATIONS, INSULATING MATERIALS, SUPPORT ORPS, MARKER AND CABLE TIES SHALL BE FURNISHED AND INSTALLED. SUPPLIER'S INSTALLATION INSTRUCTIONS SHALL BE OBTAINED FOR CABLE ACCESSORIES. THESE INSTRUCTIONS SHALL BE IN THE POSSESSION OF THE CRAFTSMAN WHILE INSTALLING THE ACCESSORIES AND SHALL BE AVAILABLE TO THE COMPANY FOR REFERENCE.
3. TERMINAL CONNECTORS FOR CONDUCTORS SMALLER THAN 8 AWG SHALL BE COMPRESSION TYPE CONNECTORS SIZED FOR THE CONDUCTOR AND THE TERMINAL. THE CONNECTORS SHALL BE CONSTRUCTED OF FIVE GRADE HIGH CONDUCTIVITY COPPER IN ACCORDANCE WITH DGC-878 AND SHALL BE TIN PLATED IN ACCORDANCE WITH MIL-T-10727. THE INTERIOR SURFACE OF THE CONNECTOR WIRE BARREL SHALL BE SEARATED, AND THE EXTERIOR SURFACE OF THE CONNECTOR WIRE BARREL SHALL BE PROVIDED WITH CRIMP GUIDES.
4. TERMINAL CONNECTORS FOR CONDUCTORS 8 AWG AND LARGER SHALL BE PRESSURE OR BOLTED CLAMP TYPE, BURNDY QUILKUG, VARILUG OR ACCEPTABLE EQUAL; OR COMPRESSION TYPE, BURNDY TYPE YAW OR YAL (LONG BARREL), RANOUT TYPE LCA OR LCL, OR ACCEPTABLE EQUAL. ACCEPTABLE CONNECTORS INCLUDED WITH COMPANY-FURNISHED EQUIPMENT MAY BE USED.
5. TERMINATION PROVISIONS OF EQUIPMENT FOR CIRCUITS RATED 100 AMPERES OR LESS, OR MARKED FOR NOS 14 THROUGH 1 CONDUCTORS, SHALL BE USED ONLY FOR CONDUCTORS RATED 90 DEG C (140 DEG F). CONDUCTORS WITH HIGHER TEMPERATURE RATINGS SHALL BE PERMITTED, PROVIDED THE AMPACITY OF EACH CONDUCTOR IS DETERMINED BASED ON THE 90 DEG C (140 DEG F) AMPACITY OF THE CONDUCTOR SIZE USED.
6. TERMINATION PROVISIONS OF EQUIPMENT FOR CIRCUITS RATED OVER 100 AMPERES, OR MARKED FOR CONDUCTORS LARGER THAN NO 1, SHALL BE USED ONLY FOR CONDUCTORS RATED 75 DEG C (167 DEG F). CONDUCTORS WITH HIGHER TEMPERATURE RATINGS SHALL BE PERMITTED, PROVIDED THE AMPACITY OF EACH CONDUCTOR IS DETERMINED BASED ON THE 75 DEG C (167 DEG F) AMPACITY OF THE CONDUCTOR SIZE USED.
7. ALL 600 VOLT OR LESS WIRING, WHERE COMPRESSION TYPE CONNECTORS ARE USED, SHALL BE INSULATED WITH AT LEAST ONE TURN OF "SCOTCH-PAK" 200 AMP ELECTRICAL INSULATING PUTTY AND THEN COVERED WITH TWO HALF TURNS OF TAPE SIMILAR TO 3M COMPANY'S "33 PLUS" (33-1) PLASTIC TAPE OR AS OUTDOOR.
8. THE ELECTRICAL SERVICE TO THE SITE SHALL BE GROUNDED AT THE SERVICE DISCONNECTING MEANS REQUIRED IN ARTICLE 250 OF THE NATIONAL ELECTRICAL CODE, IN ACCORDANCE WITH ANY LOCAL CODE.
9. ALL UNDERGROUND (BELOW GRADE) GROUNDING CONNECTIONS SHALL BE MADE BY THE COLDWELD PROCESS (MECHANICAL LUG ATTACHMENTS BELOW GRADE ARE NOT ACCEPTABLE). CONNECTIONS SHALL INCLUDE ALL CABLE TO CABLE SPICES (TES, XL, ETC.). ALL MATERIALS USED (WOLDS, WELDING METAL, TOOLS, ETC.) SHALL BE BY COLDWELD AND INSTALLED PER MANUFACTURER'S RECOMMENDATION AND PROCEDURES.

LIGHTNING PROTECTION

1. LIGHTNING PROTECTION MATERIAL SHALL BE FURNISHED BY AND INSTALLED BY CONTRACTOR.

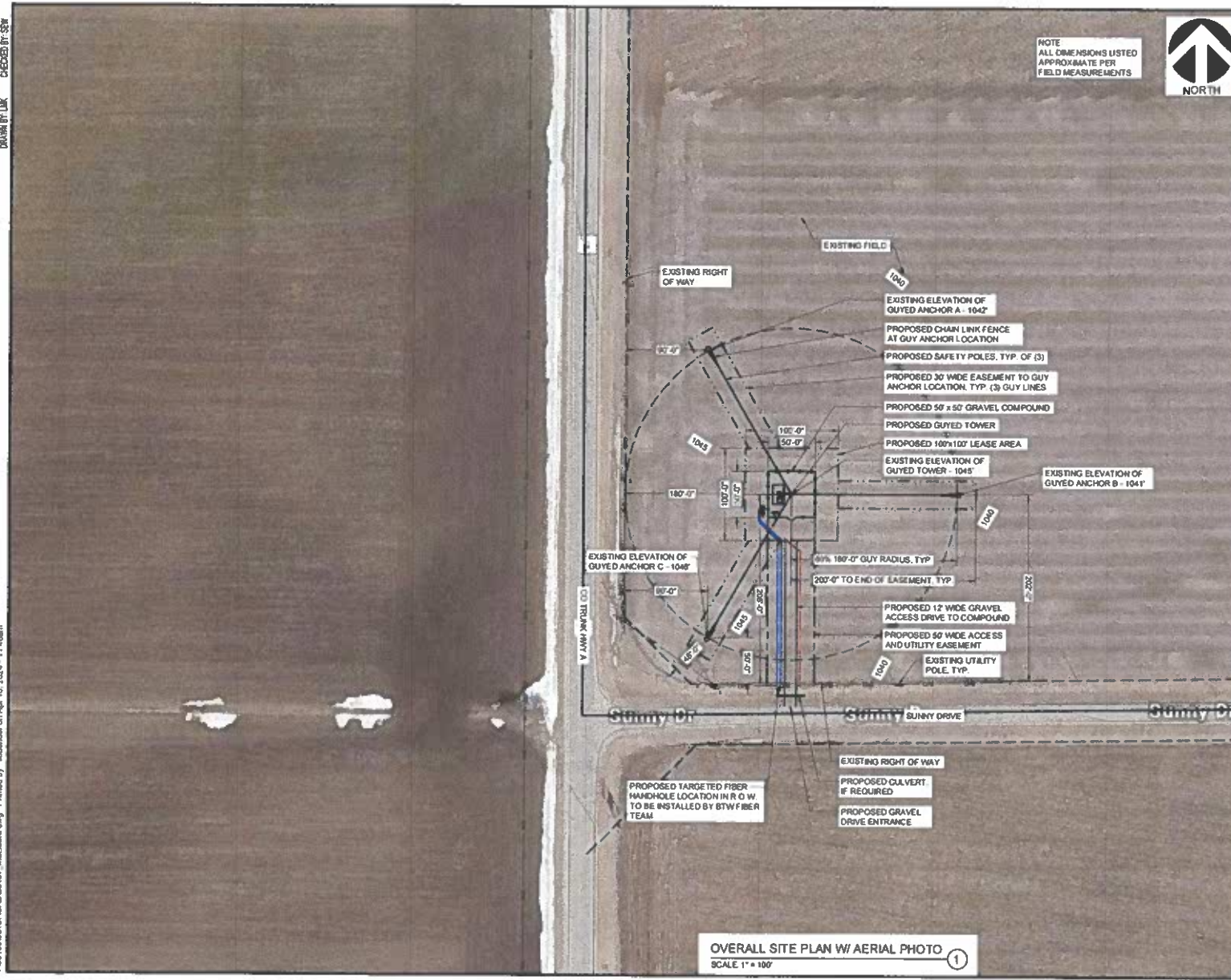
HANGERS AND SUPPORT

1. MATERIALS, ALL HANGERS, SUPPORTS, FASTENERS, AND HARDWARE SHALL BE ZINC COATED OR OF EQUIVALENT CORROSION RESISTANCE BY TREATMENT OR INHERENT PROPERTY, AND SHALL BE MANUFACTURED PRODUCTS DESIGNED FOR THE APPLICATION. PRODUCTS FOR OUTDOOR USE SHALL BE HOT DIP GALVANIZED.
2. TYPES, HANGERS, STRAPS, RISER SUPPORTS, CLAMPS, U-CHANNEL, THREADED RODS, ETC. AS INDICATED OR REQUIRED.
3. INSTALLATION, RIGIDLY SUPPORT AND SECURE ALL MATERIALS, RACEWAY AND EQUIPMENT BUILDING STRUCTURE USING HANGERS, SUPPORTS AND FASTENERS SUITABLE FOR THE USE. MATERIALS AND LOADS ENCOUNTERED, PROVIDE ALL NECESSARY HARDWARE, PROVIDE CONDUIT SUPPORTS AT MAXIMUM 5 FT. O.C.
4. OVERHEAD MOUNTING, ATTACH OVERHEAD MOUNTED EQUIPMENT TO STRUCTURAL FRAMEWORK OR SUPPORTING METAL FRAMEWORK.
5. WALL MOUNTING, SUPPORT WALL MOUNTED EQUIPMENT BY MASONRY, CONCRETE BLOCK, METAL FRAMING OR SUB-FRAMING.
6. EXTERIOR WALLS, MOUNT ALL EQUIPMENT LOCATED ON THE INTERIOR OF EXTERIOR BUILDING WALLS AT LEAST ONE INCH AWAY FROM WALL SURFACE, USING SUITABLE SPACERS.
7. STRUCTURAL MEMBERS, DO NOT CUT, DRILL OR WELD ANY STRUCTURAL MEMBER EXCEPT SPECIFICALLY APPROVED BY THE ENGINEER.
8. INDEPENDENT SUPPORT, DO NOT SUPPORT MATERIALS OR EQUIPMENT FROM OTHER EQUIPMENT, PIPING, DUCTWORK OR SUPPORTS FOR SAME.
9. RACEWAY SUPPORTS, RIGIDLY SUPPORT ALL RACEWAY WITH MAXIMUM SPACINGS PER NEC, AND SO AS TO PREVENT DISTORTION OF ALIGNMENT DURING PULLING OPERATION. USE APPROVED HANGERS, CLAMPS AND STRAPS FOR INDIVIDUAL RUNS. DO NOT USE PERFORATED STRAPS OR TIE WIRES. WHERE MULTIPLE PARALLEL RACEWAYS ARE TO RUN TOGETHER, USE TRAPEZOID TYPE HANGER ARRANGEMENT MADE FROM U-CHANNEL AND ACCESSORIES, SUSPENDED FOR FUTURE INSTALLATION OF ADDITIONAL RACEWAYS, RIGIDLY ANCHOR VERTICAL CONDUITS SERVING FLOOR MOUNTED OR "ISLAND" TYPE EQUIPMENT MOUNTED AWAY FROM WALLS WITH METAL BRACKET OR RIGID STEEL CONDUIT EXTENSION SECURED TO FLOOR.
10. MISCELLANEOUS SUPPORTS, PROVIDE ANY ADDITIONAL STRUCTURAL SUPPORT STEEL BRACKETS, ANGLES, FASTENERS AND HARDWARE AS REQUIRED TO ADEQUATELY SUPPORT ALL ELECTRICAL MATERIALS AND EQUIPMENT.
11. ONE HOLE STRAPS SHALL NOT BE USED FOR CONDUITS LARGER THAN 3/4 INCH.

CUTTING AND PATCHING

1. GENERAL, PROVIDE ALL CUTTING, DRILLING, CHASING, FITTING AND PATCHING NECESSARY FOR ACCOMPLISHING THE WORK. THIS INCLUDES ANY AND ALL WORK NECESSARY TO UNCOVER WORK TO PROVIDE FOR INSTALLATION OF ALL TIMES WORK. REMOVE AND REPLACE DEFECTIVE WORK AND WORK NOT CONFORMING TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. INSTALL EQUIPMENT AND MATERIALS IN EXISTING STRUCTURES IN ADDITION TO THAT REQUIRED DURING THE NORMAL COURSE OF CONSTRUCTION.
2. BUILDING STRUCTURE, DO NOT ENDANGER THE INTEGRITY OF THE BUILDING STRUCTURE BY CUTTING, DRILLING OR OTHERWISE MODIFYING ANY STRUCTURAL MEMBER WITHOUT SPECIFIC APPROVAL. DO NOT PROCEED WITHOUT ANY STRUCTURAL MODIFICATIONS WITHOUT PERMISSION OF THE PROJECT STRUCTURAL ENGINEER.
3. REPAIRS, REPAIR ANY AND ALL DAMAGE TO WORK OF OTHER TRADES CAUSED BY CUTTING AND PATCHING OPERATIONS, USING SKILLED MECHANICS OF THE TRADES INVOLVED.
1. GENERAL, PROVIDE ALL HOLES, SLEEVES, AND OPENINGS REQUIRED FOR THE COMPLETION OF WORK AND RESTORE ALL SURFACES DAMAGED TO MATCH SURROUNDING SURFACES. MAINTAIN INTEGRITY OF ALL FIRE AND SMOKE RATED BARRIERS USING APPROVED FIRE-STOPPING SYSTEMS. WHEN CUTTING HOLES OR OPENINGS, OR INSTALLING SLEEVES DO NOT CUT, DAMAGE OR DISTURB STRUCTURAL ELEMENTS OR REINFORCING STEEL, UNLESS APPROVED IN WRITING, BY THE PROJECT STRUCTURAL ENGINEER.
2. CONDUIT PENETRATIONS, SIZE CORE DRILLING HOLES SO THAT AN ANNULAR SPACE OF NOT LESS THAN 1/4 INCH AND NOT MORE THAN 1 INCH IS LEFT AROUND THE CONDUIT, PIPE, ETC. WHEN OPENINGS ARE CUT IN LIEU OF CORE DRILLED, PROVIDE SLEEVE IN ROUGH OPENING. SIZE SLEEVES TO PROVIDE AN ANNULAR SPACE OF NOT LESS THAN 1/4 INCH AND NOT MORE THAN 1 INCH AROUND THE CONDUIT, PIPE, ETC. PATCH AROUND THE SLEEVE TO MATCH SURROUNDING SURFACES.

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Certification 1-201							
<table border="1" style="width: 100%;"> <tr> <td>DATE</td> <td>DESCRIPTION</td> </tr> <tr> <td>04/10/2024</td> <td>FINAL</td> </tr> <tr> <td>04/10/2024</td> <td>ROLLUP</td> </tr> </table>		DATE	DESCRIPTION	04/10/2024	FINAL	04/10/2024	ROLLUP
DATE	DESCRIPTION						
04/10/2024	FINAL						
04/10/2024	ROLLUP						
MACKFORD							
PROJECT INFORMATION SUNNY DRIVE MACKFORD, WI 53956 GREEN LAKE COUNTRY TAX ID# 618-00571-0000 SHEET TITLE							
SPECIFICATIONS							
SCALE: NONE							
DRAWN 58187	SHEET SP-2						



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Construction Sheet

MARK	DATE	DESCRIPTION
ISSUE	FINAL	DATE ISSUED 04/10/2024
PROJECT		

MACKFORD

PROJECT INFORMATION
 SUNNY DRIVE
 MACKFORD, WI 53956
 GREEN LAKE COUNTY
 TAX ID# 202 0857 1 0000
 SHEET TITLE

OVERALL SITE PLAN WITH AERIAL

0 50 100 200'

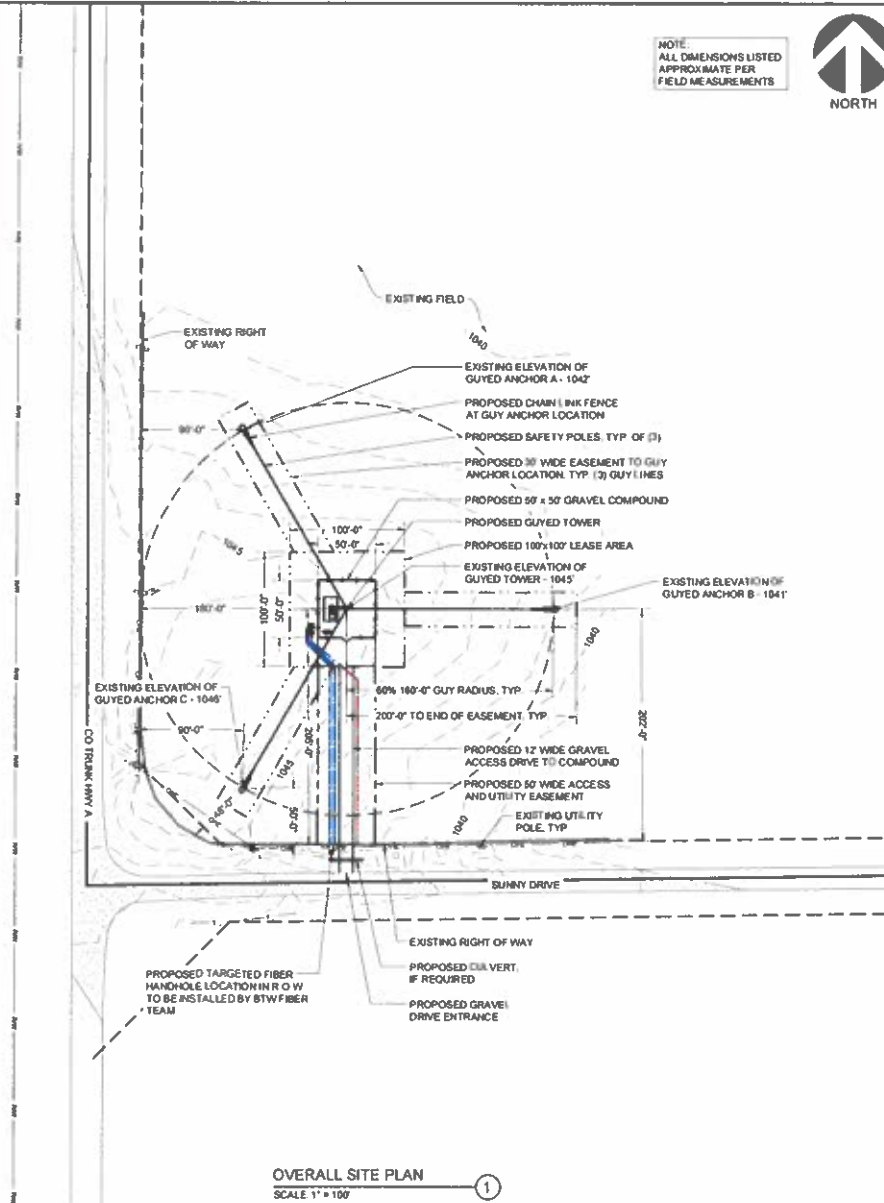
1" = 12'
 22" = 34'

58187

C-1



PROPOSED COMPOUND LOCATION



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Conclusion & Seal

DATE	BY	DESCRIPTION	DATE	BY	REVISION
04/10/2024	FINAL				

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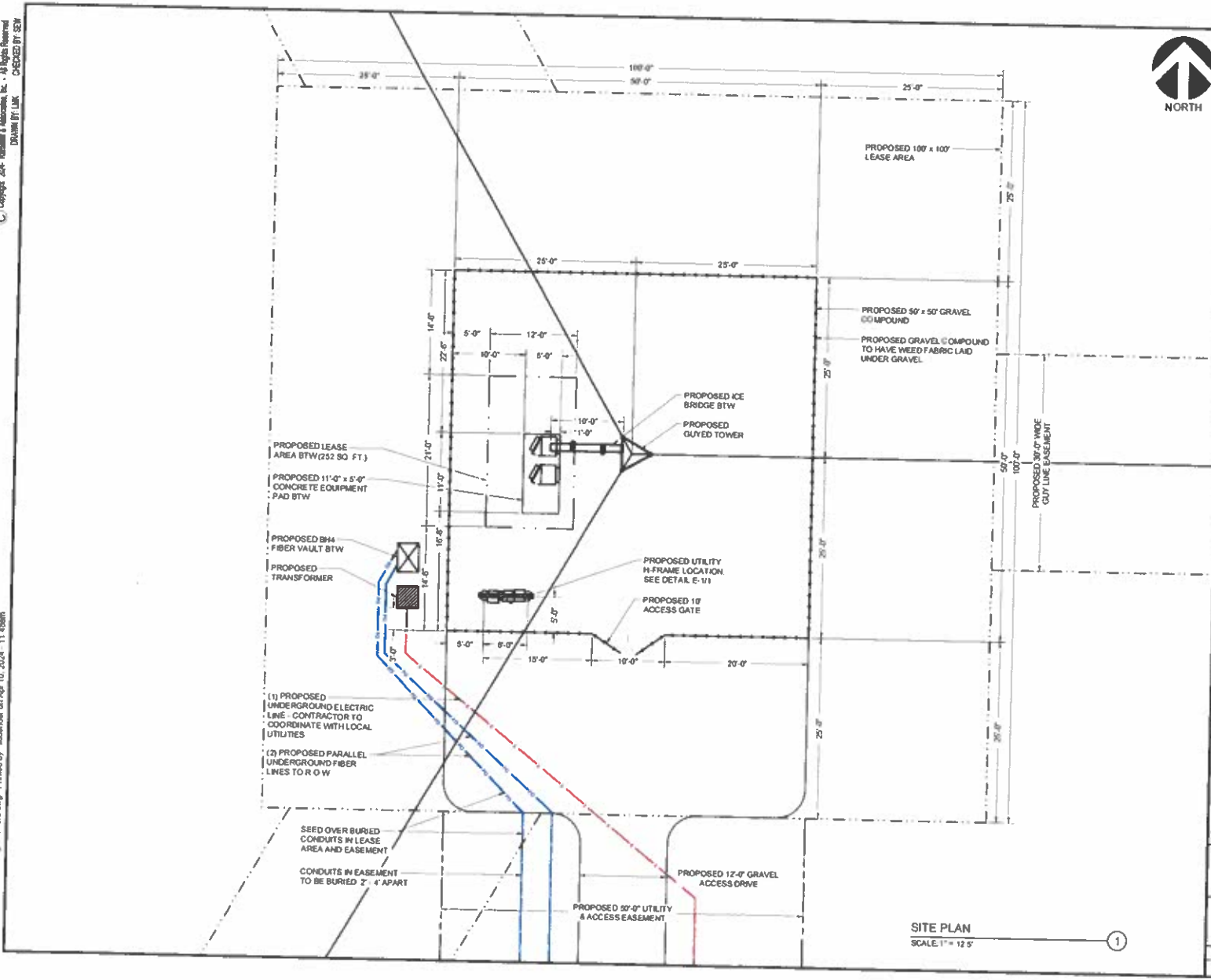
PROJECT INFORMATION
SUNNY DRIVE
MACKFORD, WI 53956
GREEN LAKE COUNTY
TAX ID# 010-00714000
SHEET TITLE


OVERALL SITE PLAN

0 50' 100' 200'


1" = 100'
22" x 34"

PROJECT NO: 58187
SHEET NO: C-2





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PROJECT INFORMATION
 SUNNY DRIVE
 MACKFORD, WI 53855
 GREEN LAKE COUNTY
 TAX ID# 210-00571-0000

SITE PLAN

0 6.25' 12.5' 25'

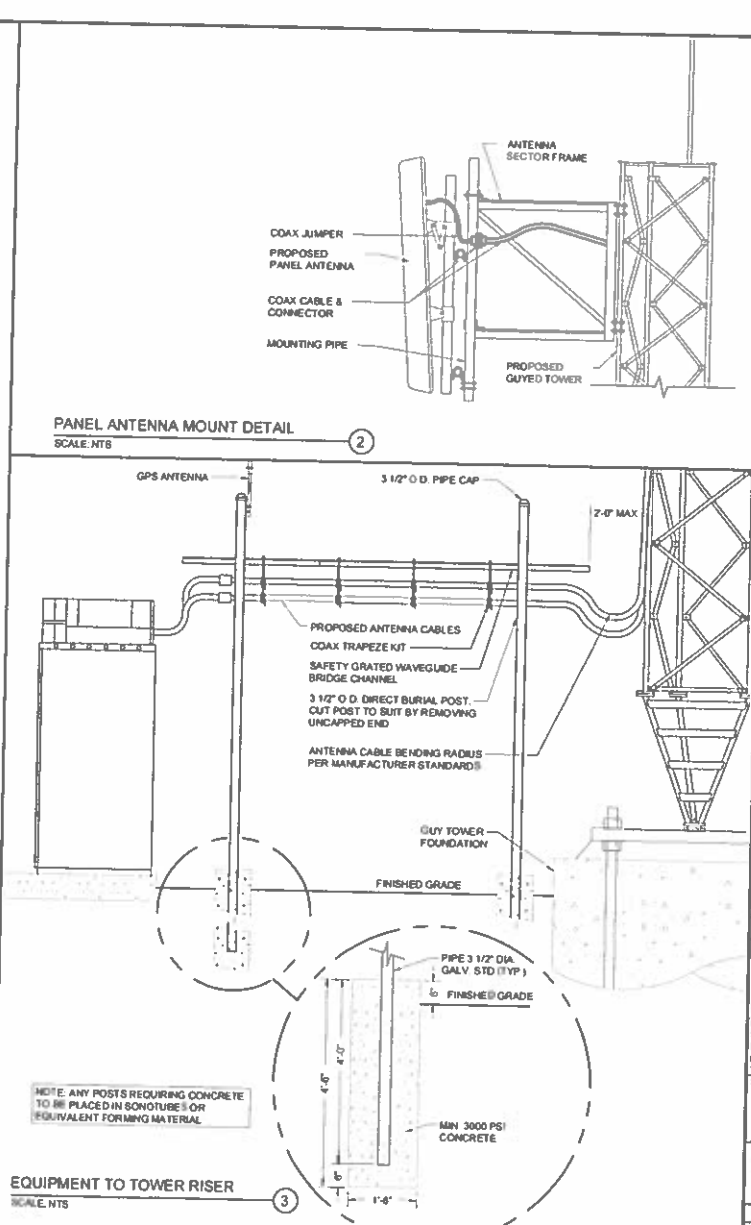
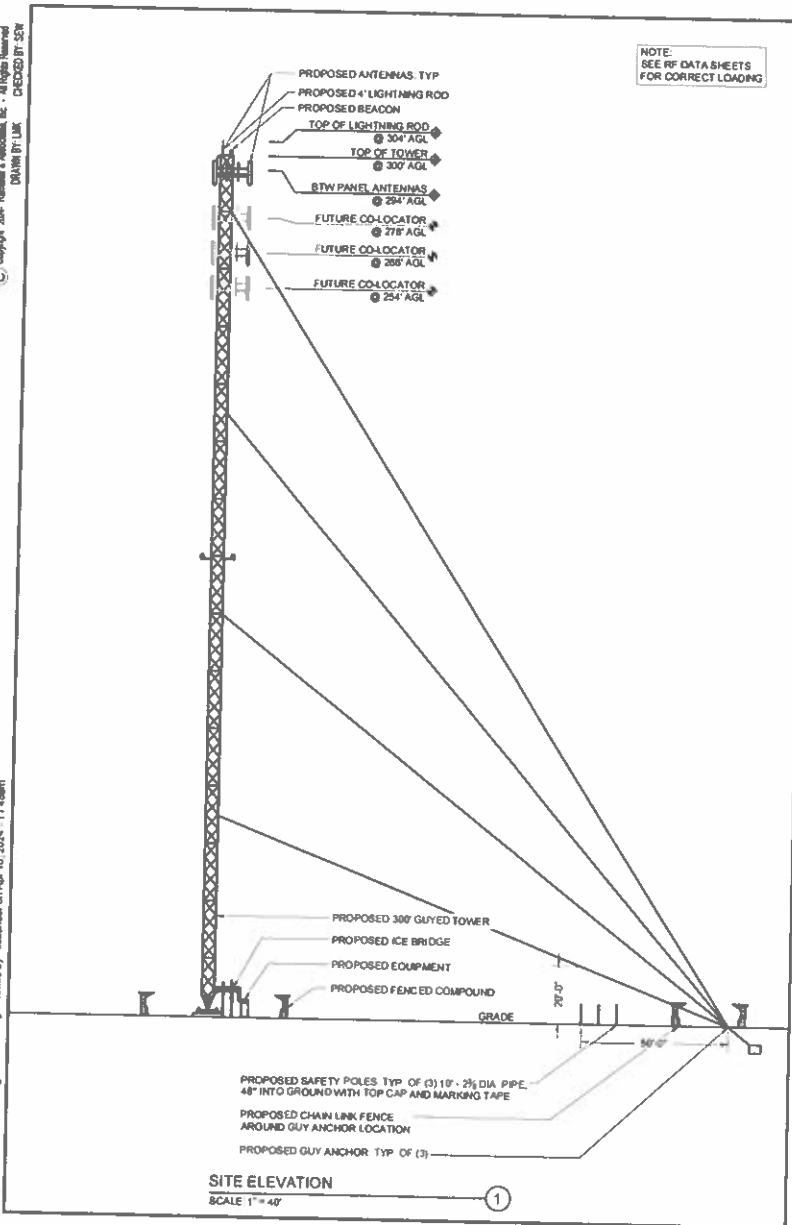
1" = 12.5'


11" x 17" 1" = 12.5'

22" x 34" 1" = 6.25'


SHEET NO. 58187

DATE C-3





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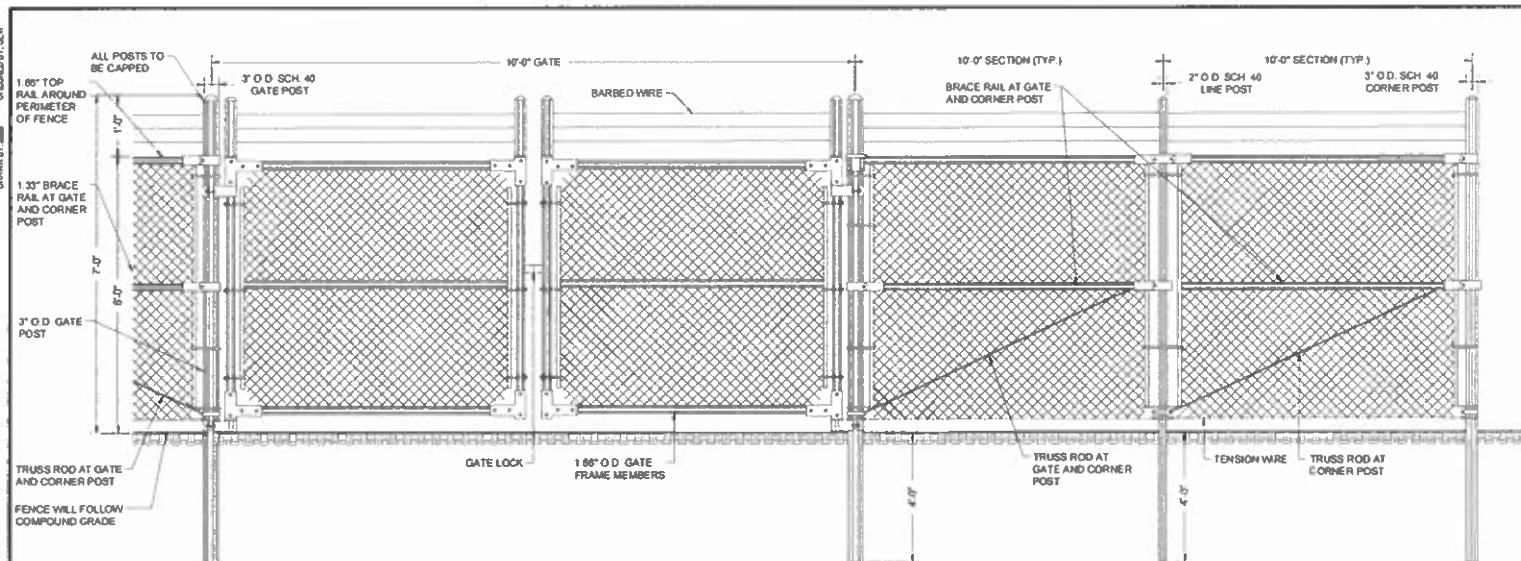
PROJECT INFORMATION
 SUNNY DRIVE
 MACKFORD, WI 53098
 GREEN LAKE COUNTY
 TAX ID# 015-00571-0009

SITE ELEVATION

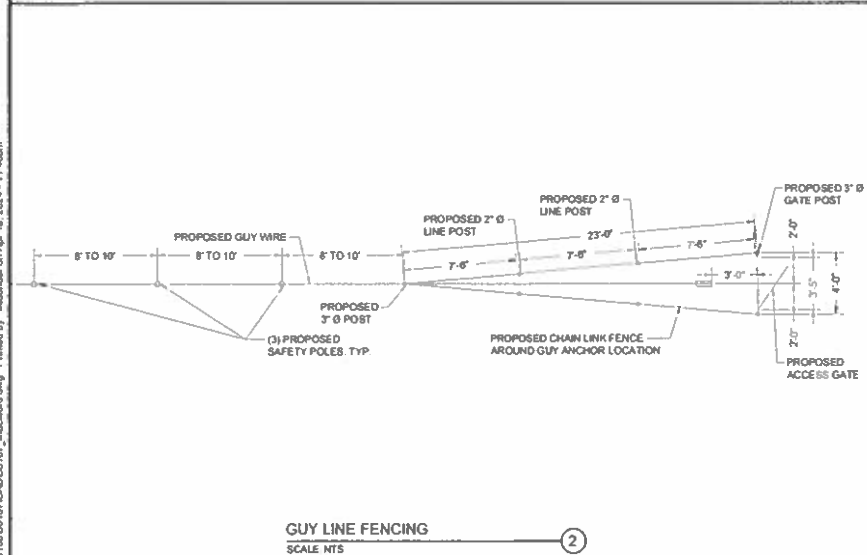


11" x 17" = 1" = 40'
 22" x 34" = 1" = 20'

58187
 C-4




FENCE AND ACCESS GATE DETAIL
 SCALE: NTS




GUY LINE FENCING
 SCALE: NTS

1. SCOPE:
 - 1.1 THIS SECTION COVERS THE REQUIREMENTS FOR THE MATERIALS AND THE CONSTRUCTION OF SITE FENCING AND GUY AREA FENCING. SEE SITE PLAN AND DRAWINGS FOR DETAILS.
2. SPECIAL REQUIREMENTS:
 - 2.1 ALL WIRE, FABRIC, FITTINGS, HARDWARE AND STEEL MEMBERS USED FOR SITE AREA FENCING SHALL BE HOT DIPPED GALVANIZED OR OTHER APPROVED NON-CORROSIVE MATERIAL.
 - 2.2 ALL NON-CORROSIVE MATERIAL SHALL BE APPROVED BY THE PROJECT MANAGER.
 - 2.3 ANY DAMAGE TO GALVANIZING OR NON-CORROSIVE COATING DURING CONSTRUCTION SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S RECOMMENDED METHODS. INSTALLATION PRACTICE.
3. FENCE POSTS:
 - 3.1 LOCATION OF CORNER POSTS SHALL BE DETERMINED FROM STAKES AND PROPERTY PINS INSTALLED BY THE REGISTERED LAND SURVEYOR UNDER CONTRACT. IF THE STAKES ARE NOT PRESENT OR DO NOT CONFORM TO THE SITE PLAN, CONSULT WITH THE PROJECT MANAGER.
 - 3.2 CORNERS AND GATE POST FOR SITE SHALL BE 2.875\"/>
4. GATE:
 - 4.1 LOCATION OF GATE SHALL CONFORM TO THE SITE PLAN. GATE SIZE SHALL BE PER PLAN SPECIFICATIONS.
 - 4.2 ALL JOINTS BETWEEN TUBULAR GATE MEMBERS SHALL BE WELDED OR HEAVY FITTINGS PROVIDING RIGID AND WATER TIGHT CONNECTIONS.
 - 4.3 GATE HINGES SHALL PROVIDE FOR 180 DEGREE RADIUS GATE SWING. ALL HINGE NUTS SHALL BE ON THE INSIDE AND DOUBLE NUT TO DETER UNAUTHORIZED ENTRY.
 - 4.4 GATE STOPS SHALL BE INSTALLED AND SHALL HOLD GATE IN "OPEN" POSITION.
 - 4.5 BARBED WIRE GUARD SHALL BE INSTALLED ON TOP OF GATES. ADEQUATE CLEARANCE SHALL BE MAINTAINED TO ALLOW GATE OPERATION.
 - 4.6 GATE SHALL BE INSTALLED PLUMB AND SHALL OPEN AND CLOSE FREELY.
 - 4.7 GATE POSTS SHALL NOT BE SHARED AS A CORNER POST.
 - 4.8 THE FOLLOWING GATE TYPE SHALL BE PROVIDED AND INSTALLED AS INDICATED ON THE SITE PLAN AND VERIFIED WITH THE PROJECT MANAGER.



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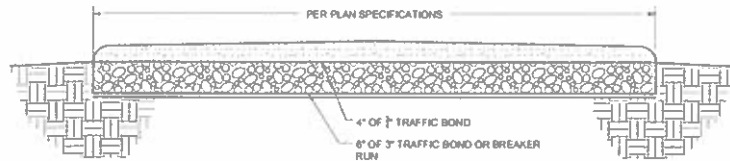
MACKFORD

PROJECT INFORMATION:
 SUNNY DRIVE
 MACKFORD, WI 53956
 GREEN LAKE COUNTY
 TAX ID# 010-20571-0000
 SHEET TITLE:

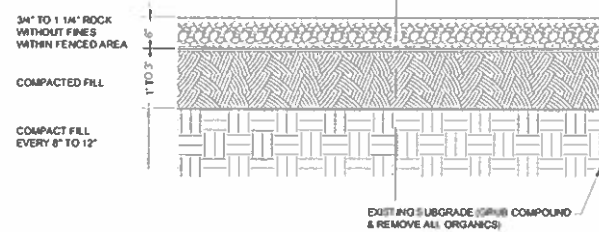
FENCE DETAILS

SCALE: NONE

PROJECT NUMBER	58187
DATE	C-5

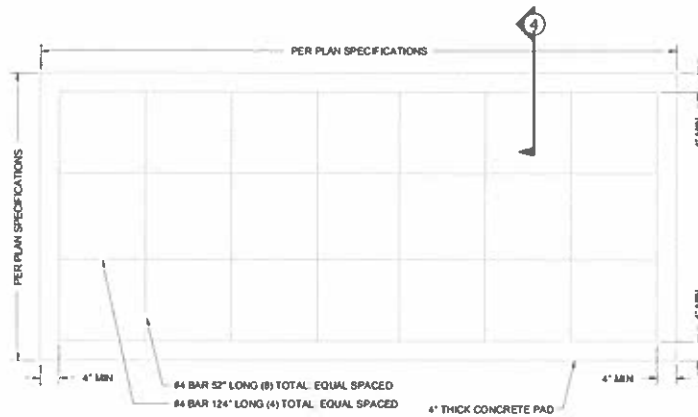


GRAVEL ACCESS ROAD
SCALE: NTS ①



GRAVEL COMPOUND
SCALE: NTS ②

NOTE:
REINFORCEMENT MUST CONFORM TO THE
REQUIREMENTS OF ASTM A615 GRADE 60



EQUIPMENT CONCRETE PLAN
SCALE: NTS ③



CONCRETE PAD DETAIL
SCALE: NTS ④

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Continued on Next

DATE: 04/10/2024
DATE: 04/10/2024

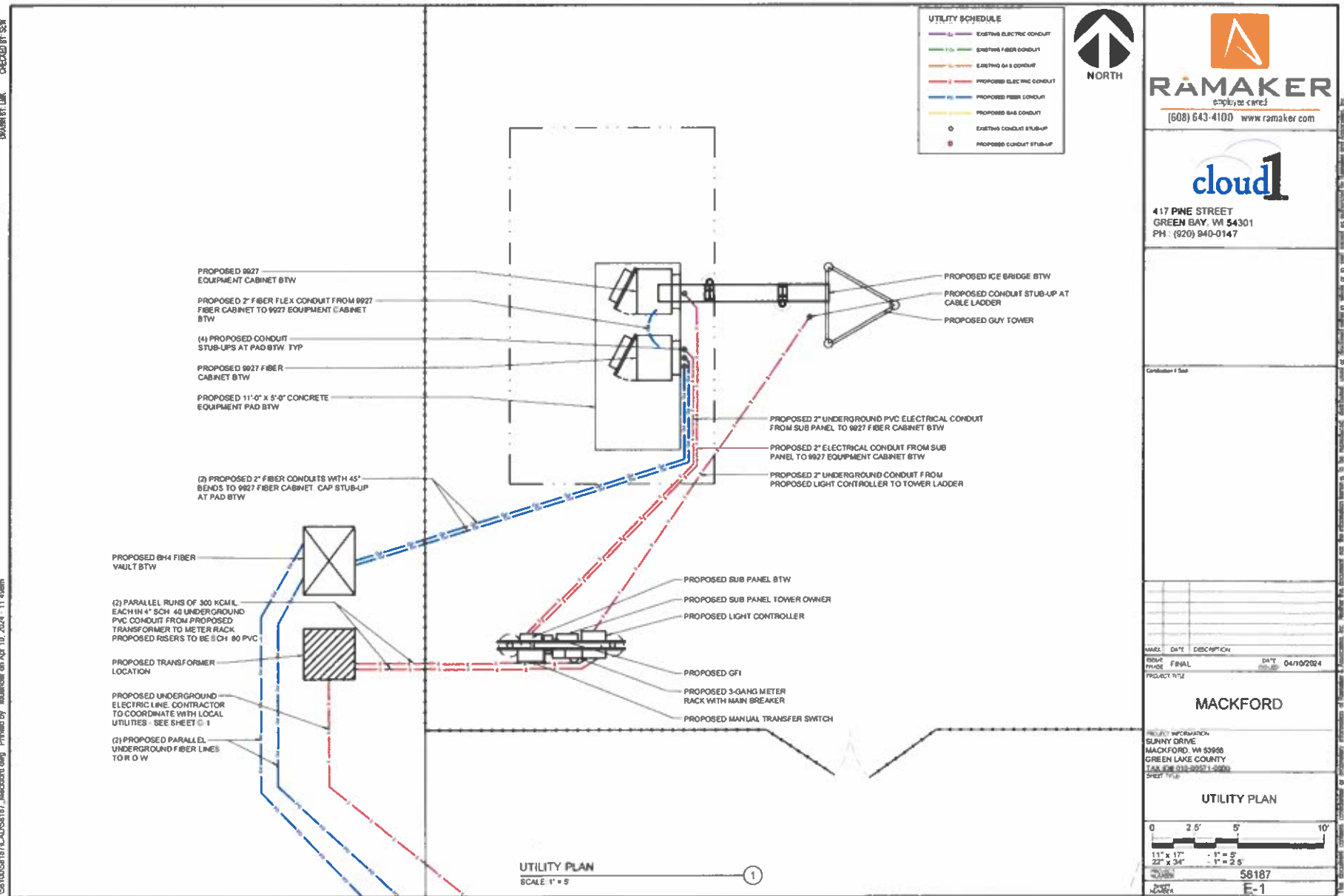
MACKFORD

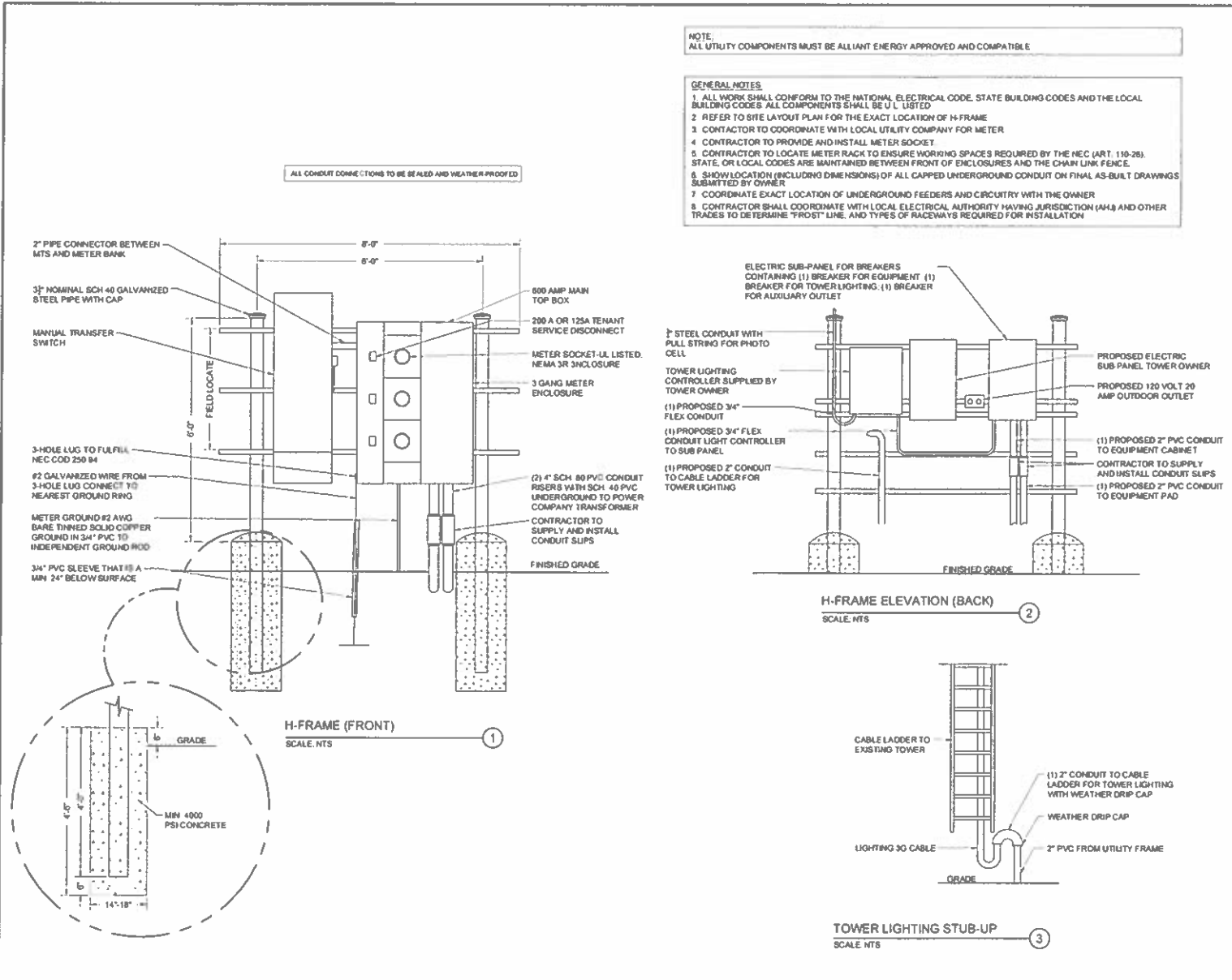
PROJECT INFORMATION
SUNNY DRIVE
MACKFORD, WI 53656
GREEN LAKE COUNTY
TAX ID: 010-00571-0000

SITE DETAILS

SCALE: NONE

PROJECT NUMBER: 58187
SHEET NUMBER: C-6





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Confirmation Sheet

MARK	DATE	DESCRIPTION
ISSUE	FINAL	DATE 04/10/2024
PROJECT	FINAL	DATE 04/10/2024

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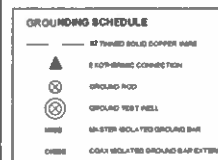
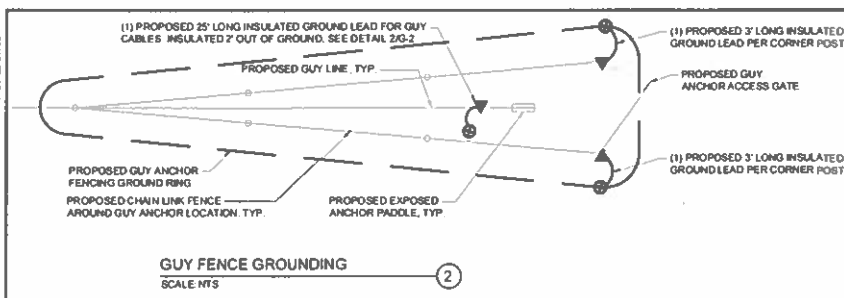
PROJECT INFORMATION
 SUNNY DRIVE
 MACKFORD, WI 53628
 GREEN LAKE COUNTY
 TAX ID# 810-06571-0000
 SHEET TITLE

UTILITY H-FRAME DETAILS

0 1.25' 2.5' 5'

11" x 17" 1" = 2.5'
 22" x 34" 1" = 1.25'

58187
 E-2

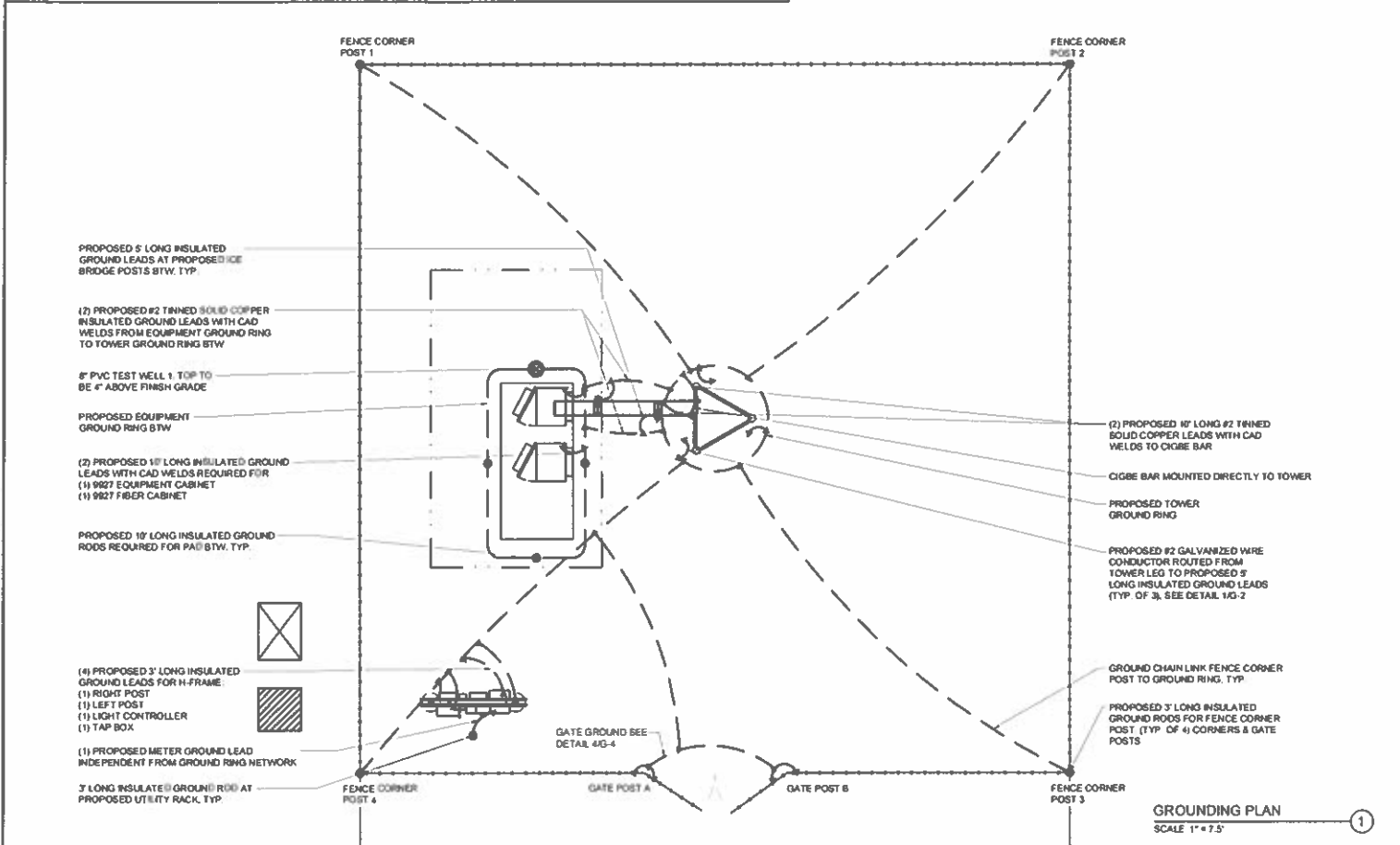


ELECTRICIAN TO PROVIDE DOCUMENT OF CHARTS TEST PRIOR TO BACKFILL - MUST INDICATE LESS THAN 5 OHMS (TEST RESULTS) PICTURES MUST BE EMAILED TO PROJECT MANAGER PAYMENT WILL BE HELD UNTIL PICTURES HAVE BEEN RECEIVED BY PROJECT MANAGER



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Continuation of Sheet

MARK	DATE	DESCRIPTION	DATE
ISSUE	FINAL		04/10/2024
PROJECT			

MACKFORD

PROJECT INFORMATION:
SUNNY DRIVE
MACKFORD, WI 53956
GREEN LAKE COUNTY
TAX ID# 918-00671-0000
SHEET TITLE:

GROUNDING PLAN

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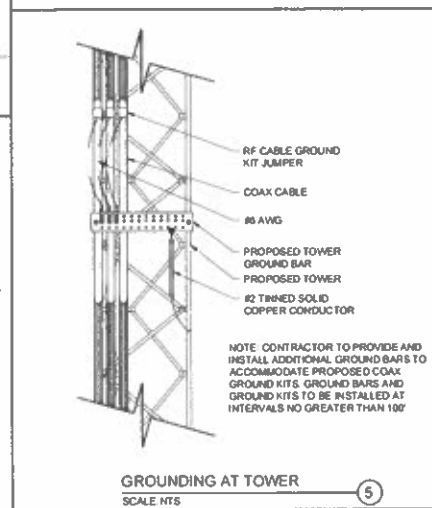
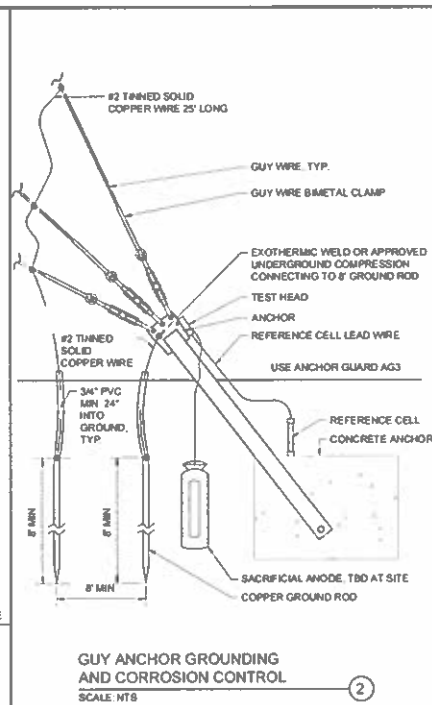
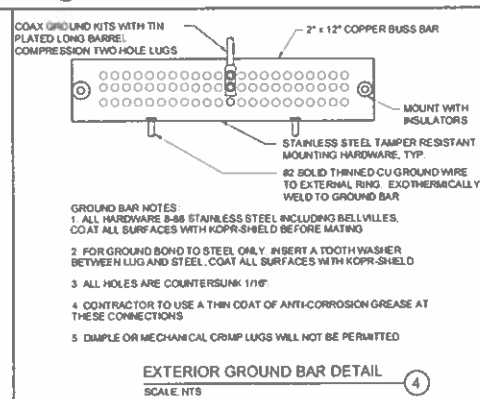
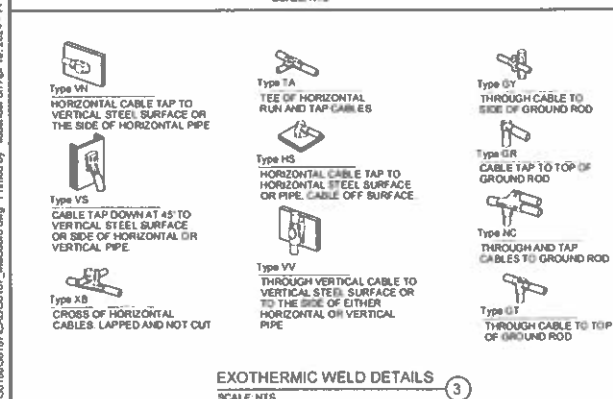
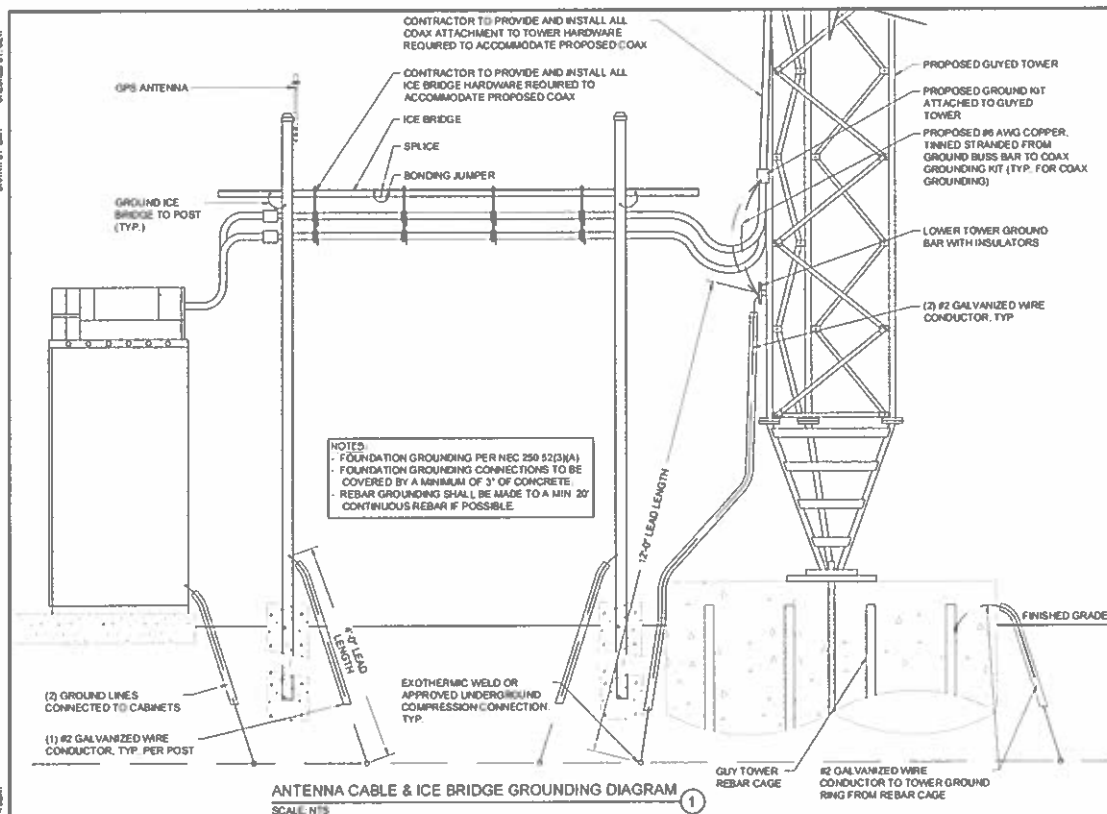
11" x 17" 22" x 34" 1" = 7.5' 1" = 3.75'

58187

58187

G-1

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Cardiologist # 5041

MARK	DATE	BOOK OPTION
ISSUE		
PRICE		
FINAL		
	DATE	ISSUED
		04/10/2024
PUBLISHED BY		

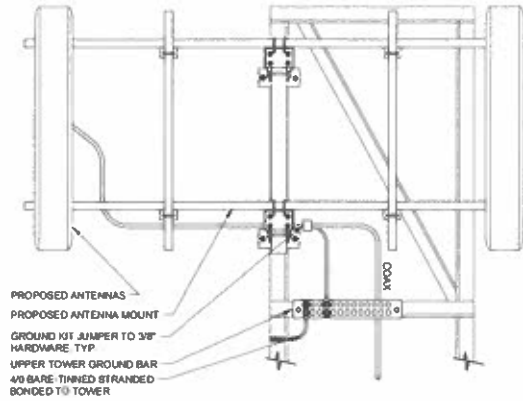
MACKFORD

PROJ. INFORMATION
BUNNY DRIVE
MACKFORD, MI 48958
GREEN LAKE COUNTY
TAX ID# 018-00571-0000

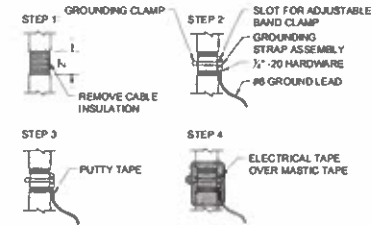
SHEET TITLE	
GROUNDING DETAILS	
SCALE: NONE	
DATE	58187
SHEET NUMBER	G-2

NOTES:

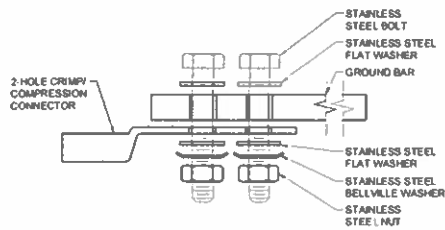
1. ALL HARDWARE (BOLTS, SCREWS, NUTS, WASHERS) SHALL BE 18-8 STAINLESS STEEL TYPE GRADE
2. CHOOSE BOLT LENGTH TO ALLOW A MIN. OF TWO THREADS EXPOSED.
3. BURNISH MOUNTING SURFACE TO REMOVE PAINT IN THE AREA OF THE CONNECTOR.
4. APPLY ANTI-OXIDANT COMPOUND TO MATING SURFACE OF CONNECTOR AND WIPE OFF EXCESS COMPOUND.
5. OHMS TEST REQUIRED BY ELECTRIC CONTRACTOR PRIOR TO BACKFILL. RESULTS PROVIDED TO CLOUD-1 INTELEGRA



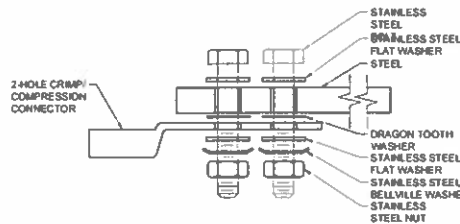
ANTENNA GROUNDING
 SCALE: NTS



COAXIAL CABLE GROUNDING
 SCALE: NTS



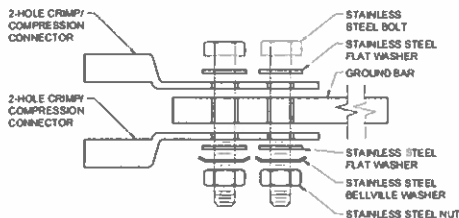
SINGLE CONNECTOR AT GROUND BARS



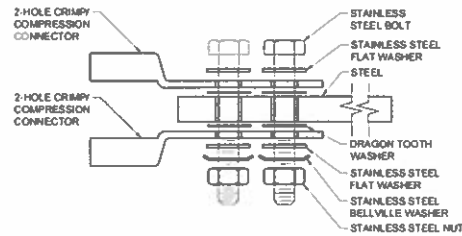
SINGLE CONNECTOR AT STEEL OBJECTS



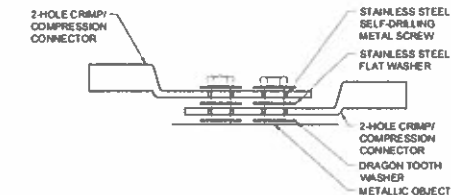
SINGLE CONNECTOR AT METALLIC/STEEL OBJECTS



BACK TO BACK CONNECTORS AT GROUND BARS



BACK TO BACK CONNECTORS AT STEEL OBJECTS



BACK TO BACK CONNECTORS AT METALLIC/STEEL OBJECTS

CONNECTORS AND HARDWARE
 SCALE: NTS

Continuation of Sheet

MARKS	DATE	DESCRIPTION
100%	FINAL	DATE ISSUED: 04/10/2024
PROJECT TITLE:		

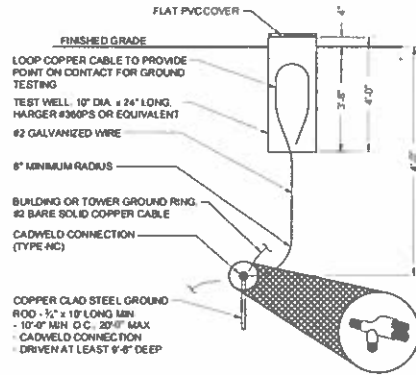
MACKFORD

PROJECT INFORMATION:
 SUNNY DRIVE
 MACKFORD, WI 53926
 GREEN LAKE COUNTY
 TAX ID# 010-02571-0000
 SHEET TITLE:

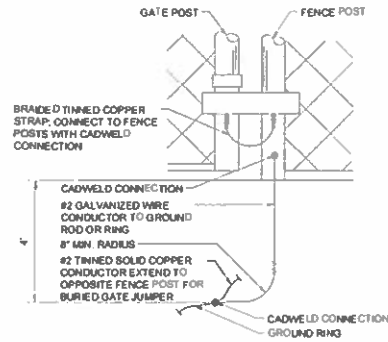
GROUNDING DETAILS

SCALE: NONE

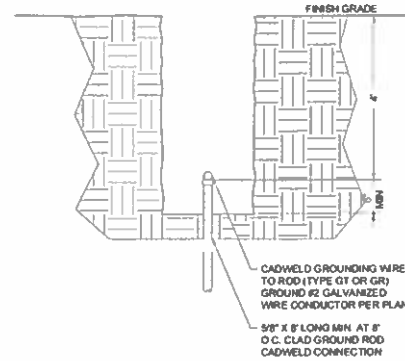
PROJECT: 58187
 SHEET: G-3



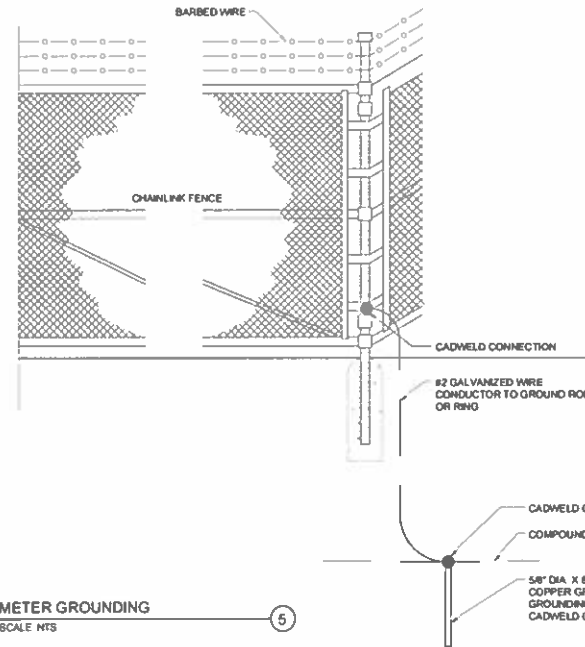
GROUND TEST WELL
SCALE: NTS ①



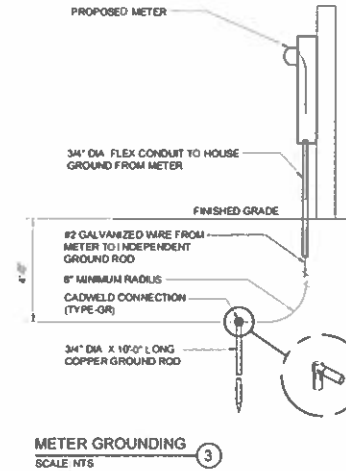
GATE GROUNDING
SCALE: NTS ④



GROUND ROD
SCALE: NTS ②



METER GROUNDING
SCALE: NTS ⑤



METER GROUNDING
SCALE: NTS ③

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417 PINE STREET
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Continuation of Sheet

MARK	DATE	DESCRIPTION
ISSUE	FINAL	DATE: 04/10/2024
PROJECT TITLE		

MACKFORD

PROJECT INFORMATION
SUNNY DRIVE
MACKFORD, WI 53955
GRECH LAKE COUNTY
TAX ID# 810-00571-0000
SHEET TITLE:

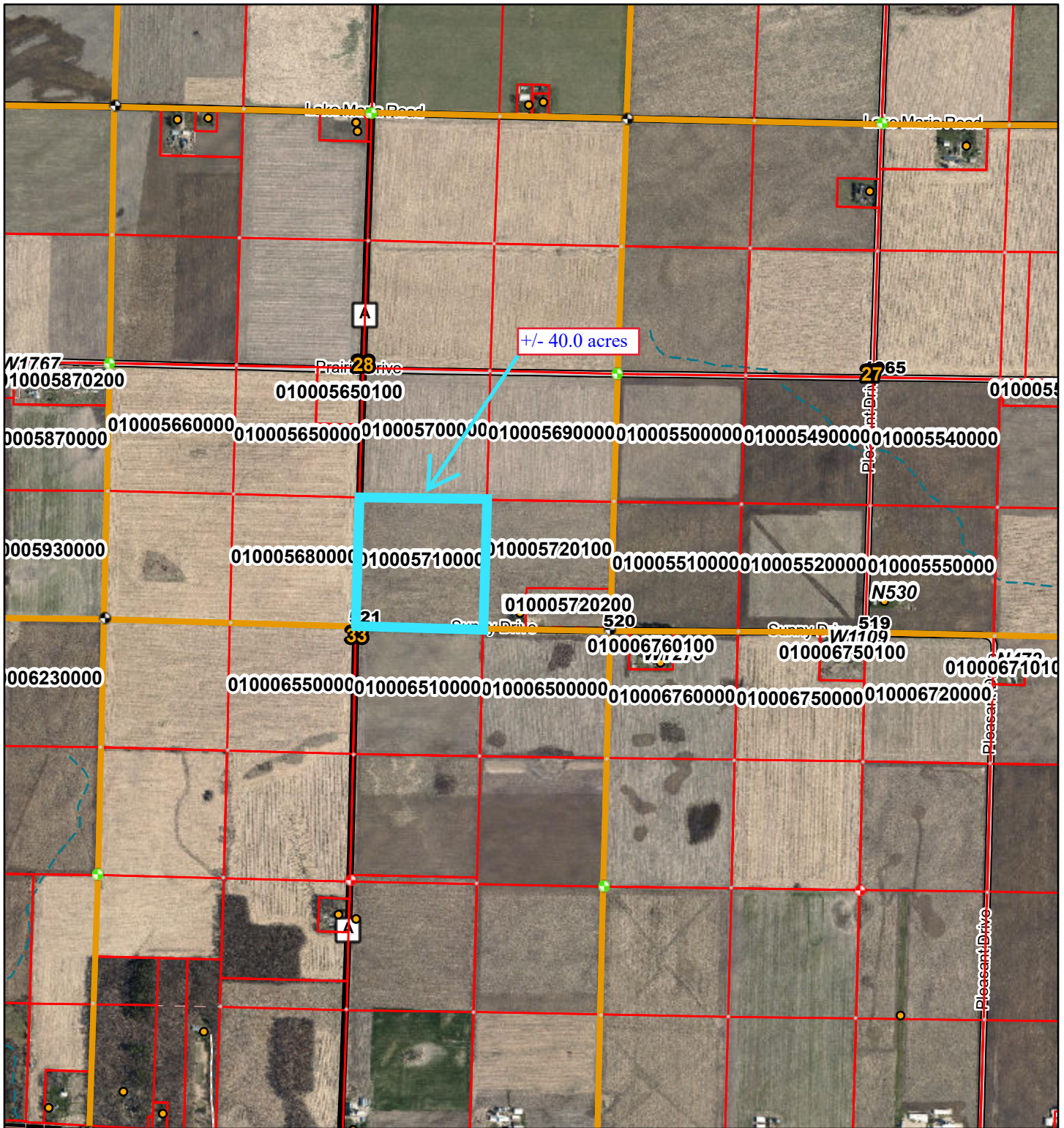
GROUNDING DETAILS

SCALE: NONE

PROJ# 58187
SHEET NUMBER G-4

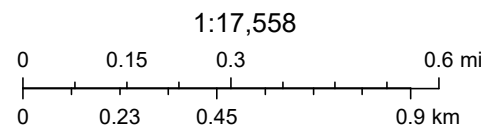
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Graff CUP Aerial Map



5/9/2024, 8:48:41 AM

- Address
- QUARTER
- CENTER
- SECTION
- Section
- TaxParcel
- SUB



Page 45 of 78
Green Lake County, WI
www.greenlakecountywi.gov

TOWN BOARD ACTION

Dear Land Use Planning and Zoning Committee:

Please be advised that the Town Board of Mackford, County of Green Lake, took the following action on –
(Date) 5-20-2024.

Owner/Applicant: Sunny Drive Farms LLC., **Agent:** Lee Larsen(Bug Tussel)

Site Location: Intersection of Sunny Drive and County Road A

General legal description: Parcel #010-00571-0000, SW ¼ of SE ¼ of Section 28, T14N, R13E, Town of Mackford, ±40.0 acres.

Request: Conditional Use Permit for a cellular tower.

Planned public hearing date for the above requests: July 11, 2024

☒ **Town Does Not object to and Approves of request**

☐ **No action taken**

☐ **Objects to and requests denial of request**

NOTE: If denial – please enclose Town Resolution of denial

- Reason(s) for objection/inaction:

Steve Dawson
Town Representative

5-20-2024
Date Signed

NOTES:

Please return this form to the Land Use Planning & Zoning Office by: **June 21, 2024**

DETERMINATION OF THE LAND USE PLANNING AND ZONING COMMITTEE

Public Hearing Date: July 11, 2024

Owner: Sunny Drive Farms LLC.

Agent: Cloud 1-Lee Larsen

Parcels: #010-00571-0000, Town of Mackford.

Request: Conditional Use Permit for a 300' communication tower.

Land Use Planning and Zoning Committee:

Curt Talma

Sue Wendt

William Boutwell

Chuck Buss

Gene Thom

Date signed: July 11, 2024

Committee vote: Ayes ____ Nays ____ Abstain ____ Absent ____

☐ **Approve**

☐ **With the conditions (listed on page 2)**

☐ **Deny.**

☐ **Modify as follows:**

Conditions of Approval:

General Conditions:

1. All of the provisions of the County Zoning Ordinance and State Statutes shall be adhered to by the owners/applicant.
2. A permit bond in the amount of \$20,000 shall be provided to the Land Use Planning & Zoning Department, prior to Land Use Permit issuance, which obligates the applicant to restore the subject site back to pre-development conditions in the event that the tower is taken out of service for a period of time exceeding 1 year.
3. The owners/applicant shall apply for and have been issued a fire number for the subject site prior to land use permit issuance.

Item #2: Owner: Jerry Schmucker, **Location:** N2992 County Road B & H, **Parcel:** 014-01767-0100. **Legal Description:** Lot 1 of CSM 3745, located in Section 30, T15N, R12E, Town of Marquette, ±8.41 acres. **Request:** The owners are requesting a Conditional Use Permit to begin construction of building components for hunting blinds, which are to be assembled and sold at a different location.

Land Use Planning and Zoning Committee Staff Report

Public Hearing

July 11, 2024

Item II: Conditional Use Permit (CUP)

Owner:

Jerry Schmucker

Applicant:

Same as Owner

Request: The owner/applicant is requesting a conditional use permit to construct portions of deer hunting blinds. Complete blind assembly and sales will occur at another location.

Parcel Number/ Location: The request affects parcel 014-00767-0100 (±8.41 acres). The parcel is located in the SW ¼ of the SW ¼ of Section 30, T15N, R12E, Town of Marquette. The site address is N2992 County Road B and H.

Existing Zoning and Uses of Adjacent Area: The parcel 014-00767-0100 is zoned A-1, Farmland Preservation District. The property is currently used as a rural residence, grazing/pasture, and for agricultural equipment storage. The surrounding properties are zoned A-1 Farmland Preservation District and used for agriculture, forestry, and rural residential housing. A half mile to the South is a C-2 Extensive Commercial District zoned parcel used for lawnmower sales and repairs. To the North-East is the Village of Marquette. A half mile to the East is another parcel zoned C-2 utilized for vehicle storage.

Additional Information/Analysis: The property is currently used as a rural residence including the main home, several sheds, and a farm field utilized as pasture/grazing land. The intent is to utilize part (<50% of the shed area) of the Northern most existing shed to house a deer blind construction business. If more space is required, some storage/construction might occur in the South-Eastern most existing shed. (<50% of the shed area) The complete construction and sale of these hunting blinds would not take place on the subject site. Only deer blind components would be assembled and then moved off site for final assembly. It is anticipated this would not be a full-time operation and would have under 160 hours of work by paid employees per week. There would only be minor improvements made to the identified sheds on the site plan including; replacing doors, adding windows, and adding a concrete slab to part of the shed.

General Standards for Review of Conditional Use Requests: It is important that the Committee maintain the purpose and intent of the County Zoning Ordinance when reviewing and approving a request of this nature. The Committee shall take into consideration, among other things, the recommendation of the affected town and the particular facts and circumstances of each proposed use in terms of the standards found in Section 350-56 "Review of permit application; standards and conditions" of the County Zoning Ordinance. The Committee need not consider requirements that would apply to the local Town, other County, State or Federal entities of jurisdiction.

County Staff Comments: This request should be reviewed by the Committee to determine if it meets the general criteria for review as cited above. If the Committee wishes to approve this request, the following conditions may be appropriate:

1. No additional expansion or addition of structures and or uses relating to this conditional use permit shall occur without review and approval through future conditional use permit(s).
2. Outside storage of materials and other items related to this CUP is prohibited.
3. The owner / operator shall maintain a **farm** and maintain an **agricultural use for income or livelihood**. Both “farm” and “agricultural use” are defined in Section 350-27.D, Zoning Ordinance.
4. Either shed, identified for the CUP use, shall have at least 50.1% devoted to the agricultural use maintained on the subject site.
5. The owner/applicant is responsible for obtaining permits from any other regulatory agency, if required.
6. Hours of operation shall be Monday – Friday, 6:30 AM to 4:00 PM.
7. The total hours worked by paid employees shall not exceed 160 hours per week.

Town of Marquette: The Town Board Action request for the Conditional Use Permit was sent to the Town Clerk on May 9th, 2024.



Land Use Planning & Zoning Department

County Government Center
571 County Road A
Green Lake, WI 54941-8630

Phone 920-294-4156 Website: <http://www.greenlakecountywi.gov>

Land Development Code Enforcement County Surveyor GIS Land Information

APPLICATION FOR CONDITIONAL USE PERMIT

The purpose of the conditional use permit process is to utilize the minimum review standards of the zoning ordinance (Green Lake County Code Chapter 350, Section 56) to determine the effect of the proposed use on the neighborhood and suitability of proposed development at the proposed location. Conditions are added to the request to minimize any impacts to the surrounding properties, if the request is consistent with the adopted Green Lake County Comprehensive Plan.

Prior to the Department accepting the application, the following items need to be completed and/or provided by the owner or applicant:

- ☐ Consultation with the staff in the Land Use Planning & Zoning Department
- ☐ Application completely filled out, including property information, legal description, and detailed description of proposed use
- ☐ Detailed site plan on paper not larger than 11" x 17", drawn to scale and including location of: lot lines, all building and structures with dimensions, all components of private onsite wastewater treatment systems like septic tanks and drain fields, public and private roads including access easements, navigable waterbodies, well location, and the setback distances between all the above
- ☐ Fee as set by the Committee for a public hearing item

OPERATIONAL PLAN NARRATIVE

The operational plan is intended to address all components of the business, from establishment through to present operation. This narrative should be two or more paragraphs that address the following questions, from the perspective of the proposed use:

- What is the history of the business and/or applicant?
- What is the history of the property and its current use?
- Describe in detail the proposed use of the property.
- If applicable, include an operation and/or maintenance plan.
- When will the property be used? (Seasonally? Set daily hours?)
- What will be done with the current structures, if any?
- Will any new structures be built? If yes, how will they be used and where will they be located?
- What hazards, concerns, or disruptions may your proposed use pose to neighboring properties and the community as a whole? How can those concerns be addressed?
- What will be done to protect the human and environmental health of the surrounding area from negative impacts of this use?
- Why was this property chosen for this business activity? How will this use benefit the community by being located on this specific property?
- How would this business activity meet goals and objectives of the County's Comprehensive Plan? (This will be clear after meeting with Department staff prior to submitting the Conditional Use Permit application, as required above.)

Fee Received (Non-Refundable) \$375

Date 4-29-24

By signing and submitting this completed application with public hearing fee, the applicant or agent requests the Land Use Planning & Zoning Committee consider the conditional use permit request at the next available public hearing.

PROPERTY OWNER / APPLICANT

Name Jerry and Norma Schmucker

Mailing Address N2992 County Road B H Markesan, WI 53946

Phone Number _____ Email _____

Signature Jerry Norma Schmucker Date 4-29-24

AGENT IF OTHER THAN OWNER

Name _____

Mailing Address _____

Phone Number _____ Email _____

Signature _____ Date _____

PROPERTY INFORMATION

Town of Marquette Location of Property N2992 County Road B and H

Section 30 Town 15 N Range 12 E

Affected Parcel Number(s) 014-00767-0100 Affected Acres 8.41

Subdivision _____ Lot _____ Block _____

CSM 3745 Lot _____ or COS _____

Legal Description Lot 1 Certified Survey Map 3745 Vol 22

Current Zoning Classification A-1 Farmland Preservation

Present Use of Property: (List all current uses and improvements, i.e. home, store, farm field, wooded, etc.)

Residential house, pasture/grazing land, and storage of agricultural equipment.

PROPOSAL - Use separate or additional sheet(s) IF necessary

Describe **specifically** the nature of this request (List all proposed uses of the parcel.) What do you plan to do? Start building components of deer blinds to be brought to another location for final assembly.

Completed deer blinds will be assembled and sold on another property.

If this application is for a use that will be contained to a part of the parcel, specify the exact dimensions of the affected area. The western 400 x 400 feet of the parcel

☐ If this box is checked, provide the following information:

Proposed use has additional minimum development standards in Section _____.

Explain how your proposal meets or exceeds these requirements.

OPERATIONAL PLAN NARRATIVE

The plan is to make parts for hunting blinds - floors - walls etc.

Lumber will be delivered out from a lumberyard and then cut to length & screwed together into floors & walls and stacked on top of each other and then will be taken to another location for final assembly of hunting blinds.

There will be no new building being built. This will take place in an existing shed currently being used for storage consisting of farm machinery & misc. & was used to house chickens in the wintertime

OPERATIONAL PLAN NARRATIVE (continued)

Hours of operation will be Monday
thru Friday approximately 6:30 to 4:00

This will ~~be~~ not be a full time
operation as of now.

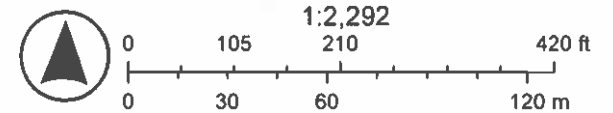
There will probably be some
minor changes made to the building
including - adding a few windows - replacing
a few doors & some concrete.

There will be only half of building used
for this ~~cup~~ CUP and another building
on property might be used if necessary

Jerry and Norma Schmucker CUP app



4/18/2024, 3:32:10 PM



[illegible]

The map displays several land parcels with the following labels:

- Parcel Identifiers:** 014005060000, 014007660100, 014007640101, 014007650102744, 014007650000, W4767, 014007700000, 01400768010091, 014007680000, 014005140000, 014007670100, N29°5V2992, 014005170000, 01400770200, 014007770000, 014007730000.
- Annotations:** "B And H" appears twice near vertical road segments. A blue box highlights a specific area with the note "+/- 8.41 acres".
- Roads:** A thick yellow line runs vertically through the center-left. A horizontal yellow line crosses the lower-middle section. Other roads are shown as thin red or grey lines.
- Other Features:** Yellow dots representing points of interest or survey markers are scattered across the map. A dashed green line runs horizontally across the middle-right portion. A black line with a red border follows a diagonal path from the top-left towards the bottom-right.

1,875

0 0.07 0.15 0.3 mi

0 0.1 0.2 0.4 km

DETERMINATION OF THE LAND USE PLANNING AND ZONING COMMITTEE

Public Hearing Date: July 11, 2024

Owner: Jerry Schmucker

Agent: same

Parcels: #014-01767-0100, Town of Marquette.

Request: Conditional Use Permit to begin construction of building components for hunting blinds, which are to be assembled and sold at a different location.

Land Use Planning and Zoning Committee:

Curt Talma

Sue Wendt

William Boutwell

Chuck Buss

Gene Thom

Date signed: July 11, 2024

Committee vote: Ayes ____ Nays ____ Abstain ____ Absent ____

☐ **Approve**

☐ **With the conditions (listed on page 2)**

☐ **Deny.**

☐ **Modify as follows:**

Conditions of Approval:

General Conditions:

1. No additional expansion or addition of structures and or uses relating to this conditional use permit shall occur without review and approval through future conditional use permit(s).
2. Outside storage of materials and other items related to this CUP is prohibited.
3. The owner/operator shall maintain a **farm** and maintain an **agricultural use for income or livelihood**. Both “farm” and “agricultural use” are defined in Section 350-27.D, Zoning Ordinance.
4. Either shed, identified for the CUP use, shall have at least 50.1% devoted to the agricultural use maintained on the subject site.
5. The owner/applicant is responsible for obtaining permits from any other regulatory agency, if required.
6. Hours of operation shall be Monday – Friday, 6:30am to 4:00pm.
7. The total hours worked by paid employees shall not exceed 160 hours per week.

Item #3: Owner: S&L Holdings WI, LLC., **Agent:** Lee Garro, **Location:** Highway 23 & 49, **Parcels:** 004-00314-0200, -0300, -0400, & -0501. **Legal Description:** Lots 2, 3, 4, and Outlot 1 of CSM 1202, located in Section 15, T16N, R13E, Town of Brooklyn, ±3.88 acres. **Request:** The owners are requesting a Conditional Use Permit for a boat storage building, individual storage units, and a sales office.

Land Use Planning and Zoning Committee Staff Report – Revised

Public Hearing

July 11, 2024

Item III: Conditional Use Permit (CUP)

Owner:

S&L Holdings WI LLC

Applicant:

Lee Garro

Request: The owner/applicant is requesting a conditional use permit for a boat storage building, individual storage units, and a sales office.

Parcel Number/ Location: The request affects parcels 004-003144-0200, -0300, -0400, and -0510 (±3.88 acres). The parcels are in the SE ¼ of the SW ¼ of Section 15, T16N, R13E, Town of Brooklyn. The site is located south of State Highway 23 and 49.

Existing Zoning and Uses of Adjacent Area: The parcels referenced above are zoned C-2, Extensive Commercial District and combined make up ±3.88 acres. The property currently is undeveloped and used as farm fields. Parcels to the east are zoned as A-1, Farmland Preservation District and used as farmland. The properties to the south are zoned by the City of Green Lake. The parcels to the south are used as farmland and commercially as a gas station and grocery store. The property to the west is zoned as R-1, Single-Family Residence District with a house on it. To the north across the highway, the properties are zoned as C-2 and used commercially.

Additional Information/Analysis: The applicant wants to build a stackable boat storage building. The original CUP application proposes a 250ft x 120ft building footprint with a height of 37 feet. However, the first site plan provided proposes this building to be 300ft long by 80ft deep. A follow-up email from the applicant reduced this building to be 180ft long by 80ft deep. The applicant stated that the building will start as 180ft long and 80ft wide but through future additions the building would be 250ft long by 125ft wide. The applicant plans to increase the size through a lean to roof structure to provide an under-roof showroom. The applicant has been made aware that the maximum height allowable by the zoning ordinance is 35ft. It would be important for the LUP&Z Committee to nail down the exact dimensions of this building prior to deciding on this CUP. A new document was submitted on May 30th showing an updated size of this building to be 180ft x 120ft with a peak height of 32 feet. This was updated to provide the LUP&Z Committee the correct proposed size of the building.

The applicant also proposed 16 storage units (24ftx50ft) in one storage building that is 384ftx50ft. The updated site plan from May 30th also adds a peak height of 18 feet for this building. Each unit would have a garage door and a service door. The new updated plan shows an elevation view of both storage buildings.

The applicant is also requesting a sales office for Sterling Marina and Rentals and a sales office for the applicant's wife to utilize as a real estate office. The site plan is unclear as to where the sales office and real estate office would be located. The LUP&Z Committee may want to obtain clarification on the location of the sales office and real estate office prior to deciding on this CUP. It was explained to the applicant that a floorplan would be beneficial as well as elevation views of the other three sides of the buildings per the LUP&Z Committee Chairman's recommendation, however the applicant urged that this

new updated site plan submittal satisfies what the LUP&Z Committee had asked for during the meeting postponing this CUP.

The final ask for this CUP application is a proposed sign (see site plan) which would need to meet the ordinance standards listed in 350-43.

General Standards for Review of Conditional Use Requests: It is important that the Committee maintain the purpose and intent of the County Zoning Ordinance when reviewing and approving a request of this nature. The Committee shall take into consideration, among other things, the recommendation of the affected town and the particular facts and circumstances of each proposed use in terms of the standards found in Section 350-56 “Review of permit application; standards and conditions” of the County Zoning Ordinance. The Committee need not consider requirements that would apply to the local Town, other County, State or Federal entities of jurisdiction.

County Staff Comments: This request should be reviewed by the Committee to determine if it meets the general criteria for review as listed above. If the Committee wishes to approve this request, the following conditions may be appropriate:

1. No additional expansion or addition of structures and/or uses relating to this conditional use permit shall occur without review and approval through future conditional use permit(s).
2. No outside storage of materials and other items is allowed.
3. An “As-Built” certificate of survey shall be provided to the Land Use Planning & Zoning Department within one year of project completion. The certificate of survey shall show all existing buildings, building setback dimensions to lot lines, all access locations, electrical distribution equipment, easements, and any stormwater management appurtenances.
4. Any outdoor lighting shall comply with Section 350-23 of the County Zoning Ordinance.
5. Prior to construction all parcels must be combined into a single parcel through a CSM.
6. A fire number application must be applied for and issued before Land Use Permit approval.
7. The applicant must obtain a Land Use Permit before any building construction starts.
8. No buildings shall be taller than 35 feet at peak height.
9. Also prior to land use permit issuance, documentation shall be provided to the LUP&Z Department indicating that the owner/applicant has applied for a stormwater and erosion control permit from WDNR.

Town of Brooklyn: The Town Board Action request for the Conditional Use Permit was sent to the Town Clerk on March 13, 2024. The Town Board took no action on this request. However, on May 6, 2024, the Town Chairman (Mike Wuest), submitted a document, on Town of Brooklyn letterhead, requesting that the following conditions be attached to S&L Holdings, WI, LLC conditional use permit.

- All items /materials shall be stored within the building(s) authorized under this CUP application.
- A copy of the State-approved commercial building plans shall be provided to the LUP& Z Department prior to land use permit issuance.
- This CUP may be ultimately revoked in accordance with Section 350-57 of the County Zoning Ordinance.
- The DOT be contacted about a right turn lane be installed to the entrance when the Highway 23 is done next year and approved.

In addition to the above Town Conditions, the Town of Brooklyn Chairman on June 26, 2024, requested the following additional conditions:

- Detailed site plan showing all setbacks and lot lines.
- Commercial building plans previewed by the Town Building Inspector and the State for approval.
- Approval from the County and State for proposed signs.



Land Use Planning & Zoning Department

County Government Center
571 County Road A
Green Lake, WI 54941-8630

Phone 920-294-4156 Website: <http://www.co.green-lake.wi.us/>

Land Development Code Enforcement County Surveyor GIS Land Information

APPLICATION FOR CONDITIONAL USE PERMIT

The purpose of the conditional use permit process is to utilize the minimum review standards of the zoning ordinance (Green Lake County Code Chapter 350, Section 56) to determine the effect of the proposed use on the neighborhood and suitability of proposed development at the proposed location. Conditions are added to the request to minimize any impacts to the surrounding properties, if the request is consistent with the adopted Green Lake County Comprehensive Plan.

Prior to the Department accepting the application, the following items need to be completed and/or provided by the owner or applicant:

- ☐ Consultation with the staff in the Land Use Planning & Zoning Department
- ☐ Application completely filled out, including property information, legal description, and detailed description of proposed use
- ☐ Detailed site plan on paper not larger than 11" x 17", drawn to scale and including location of: lot lines, all building and structures with dimensions, all components of private onsite wastewater treatment systems like septic tanks and drain fields, public and private roads including access easements, navigable waterbodies, well location, and the setback distances between all the above
- ☐ Fee as set by the Committee for a public hearing item

OPERATIONAL PLAN NARRATIVE

The operational plan is intended to address all components of the business, from establishment through to present operation. This narrative should be two or more paragraphs that address the following questions, from the perspective of the proposed use:

- What is the history of the business and/or applicant?
- What is the history of the property and its current use?
- Describe in detail the proposed use of the property.
- If applicable, include an operation and/or maintenance plan.
- When will the property be used? (Seasonally? Set daily hours?)
- What will be done with the current structures, if any?
- Will any new structures be built? If yes, how will they be used and where will they be located?
- What hazards, concerns, or disruptions may your proposed use pose to neighboring properties and the community as a whole? How can those concerns be addressed?
- What will be done to protect the human and environmental health of the surrounding area from negative impacts of this use?
- Why was this property chosen for this business activity? How will this use benefit the community by being located on this specific property?
- ~~How would this business activity meet goals and objectives of the County's Comprehensive Plan? (This will be clear after meeting with Department staff prior to submitting the Conditional Use Permit application, as required above.)~~

answer in person

Fee Received (Non-Refundable) _____

Date 2/15/24

By signing and submitting this completed application with public hearing fee, the applicant or agent requests the Land Use Planning & Zoning Committee consider the conditional use permit request at the next available public hearing.

PROPERTY OWNER / APPLICANT

Name S & L Holding
Mailing Address P O Box 436 Green Lake
Phone Number 920-294-3000 Email Lee.garro@gmail.com
Signature Lee Garro Date 2/15/24

AGENT IF OTHER THAN OWNER

Name _____
Mailing Address _____
Phone Number _____ Email _____
Signature _____ Date _____

PROPERTY INFORMATION

Town of Brooklyn Location of Property _____
Section 15 Town 16 N Range 13 E
Affected Parcel Number(s) 004003140200-0300-0400-0501 Affected Acres 3.88
Subdivision _____ Lot _____ Block _____
CSM 1202 Lot 2,3,4, outlot or COS _____
Legal Description Lot 2, Lot 3, Lot 4, outlot #1. of
CSM 1202

Current Zoning Classification Business / Industrial

Present Use of Property: (List all current uses and improvements, i.e. home, store, farm field, wooded, etc.)

Farm Land until I bought it, currently selling
boats and other various items

PROPOSAL - Use separate or additional sheet(s) IF necessary

Describe specifically the nature of this request (List all proposed uses of the parcel.) What do you plan to do?

① boat storage building 120' wide x 250' long, ② individual storage units 24' x 50' total of 16 condensed in one building 384' x 50'. ③ reselling various items: Boats, Equipment, tractors, cars, semis, trailers, Atv, Utv, Bikes, p.w.c. Etc...

If this application is for a use that will be contained to a part of the parcel, specify the exact dimensions of the affected area.

☐ If this box is checked, provide the following information:

Proposed use has additional minimum development standards in Section _____

Explain how your proposal meets or exceeds these requirements.

OPERATIONAL PLAN NARRATIVE

- * 4 light pole towers & 10 building wall pack lights for security lights.
- * condor storage units as per set back rules starting from West heading east dimensions 384' ft long & 50' ft deep with 16 garage doors & 16 walk doors 3' wide facing the North (Absolutely No garbage or debris will ever be allowed to be left on site.)
- * Boat storage building location #3 for Sterling Marina & Rentals which is also a company owned by Lee Garra dimensions are 250' ft long x 120' wide with a height of 37' ft tall at the peak
- * Sales office for Sterling Marina & Rentals / B.g power sports
small sales office for my wife to sell real estate

flower shop

fg bent

Submitted: 2/26/24

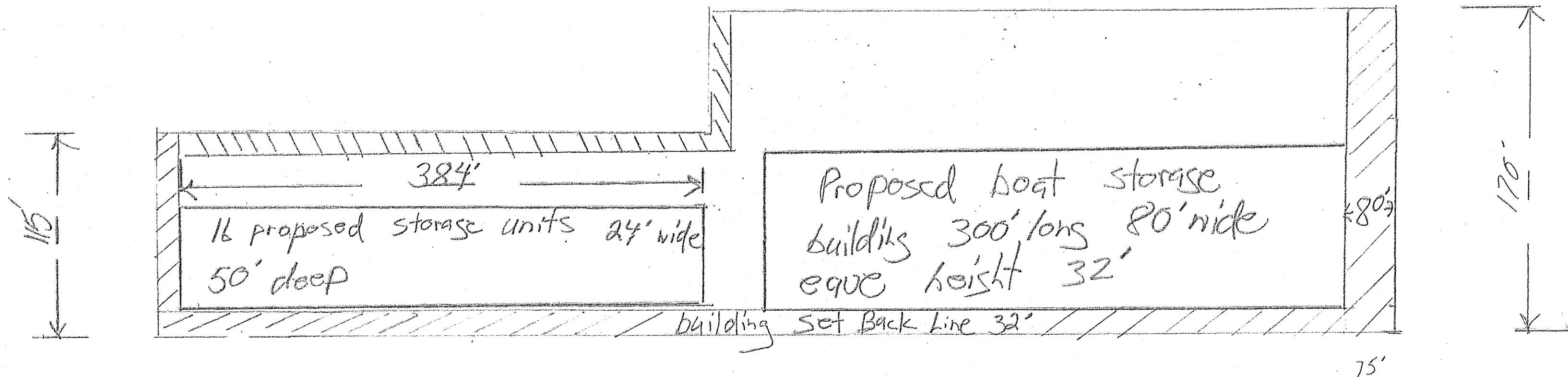
HWY 23 to 49

Highway Entrance

Proposed Sign
12x18 12x18

473'

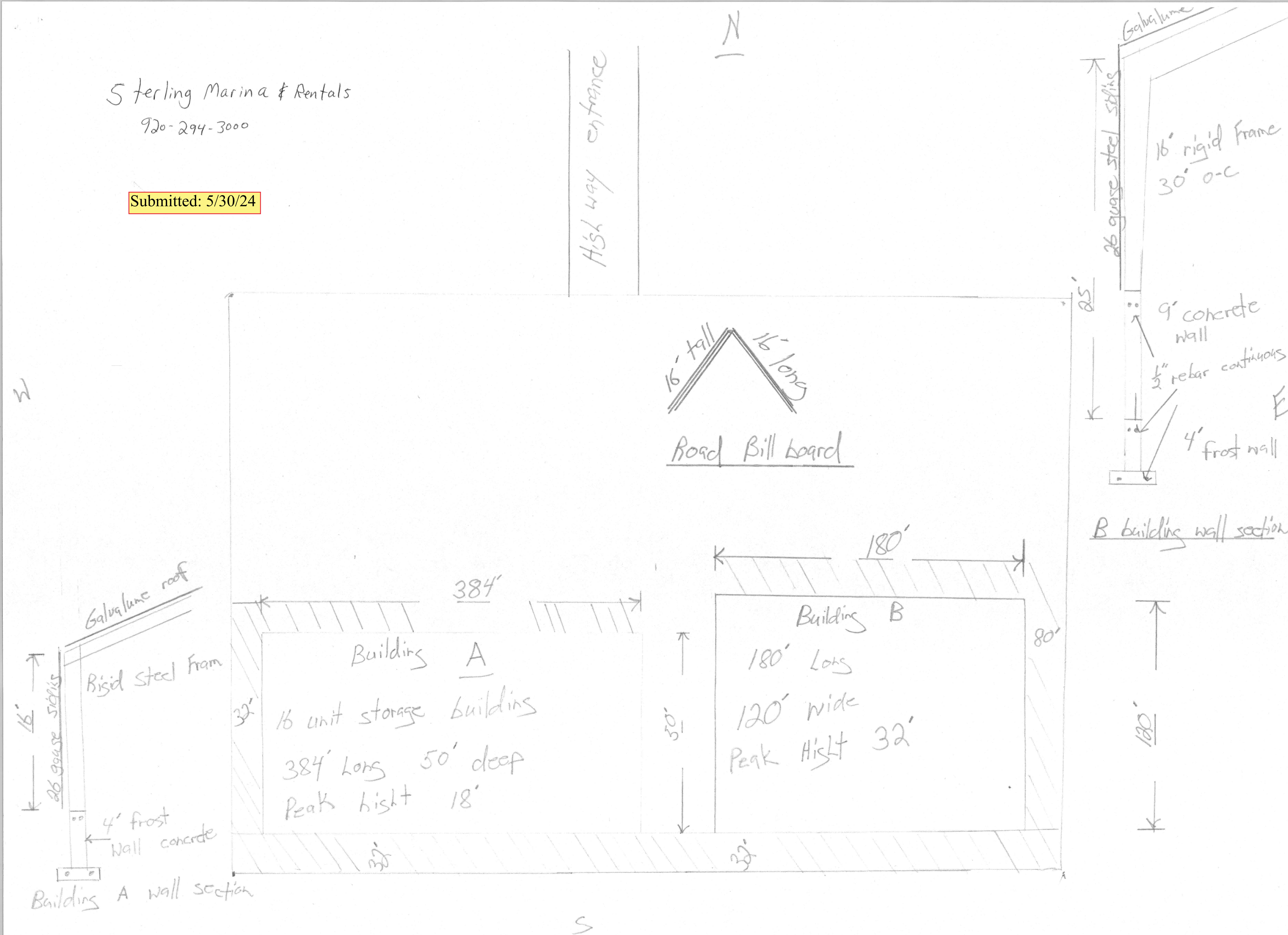
402'



5 terling Marina & Rentals

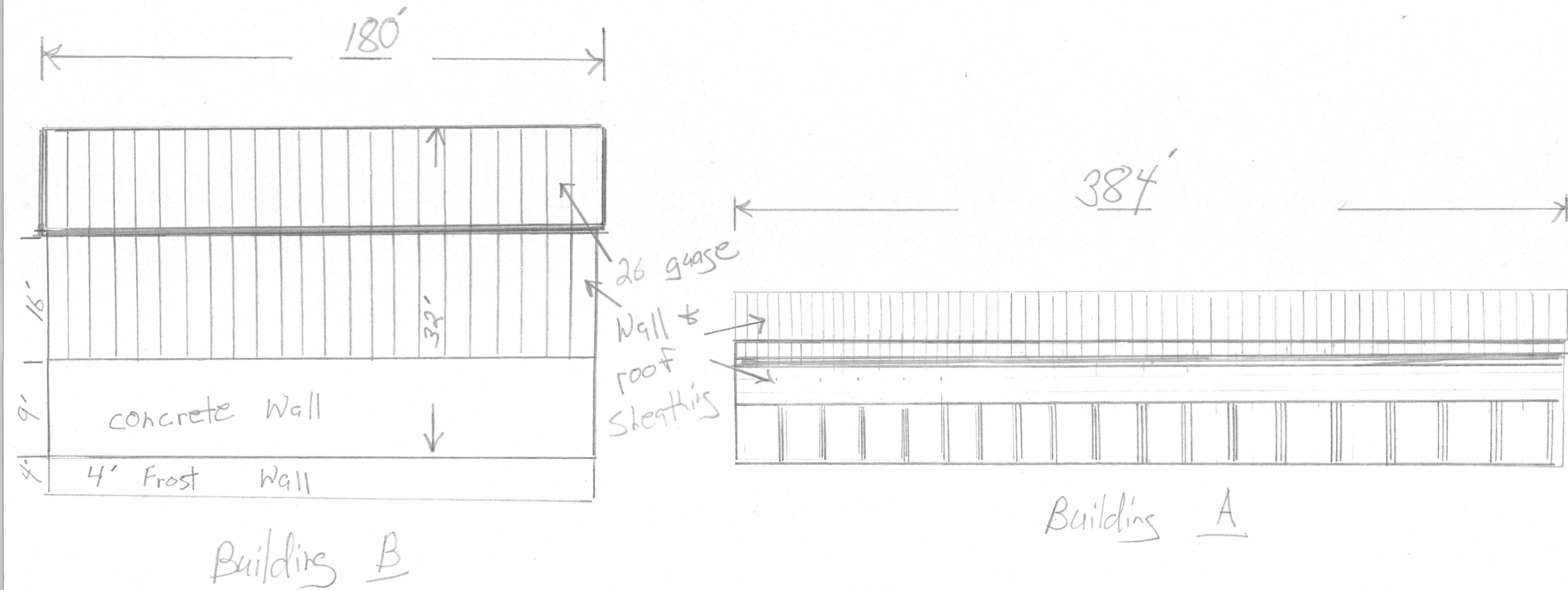
920-294-3000

Submitted: 5/30/24



Sterling Marina & Rentals
920-294-3000

Submitted: 5/30/24



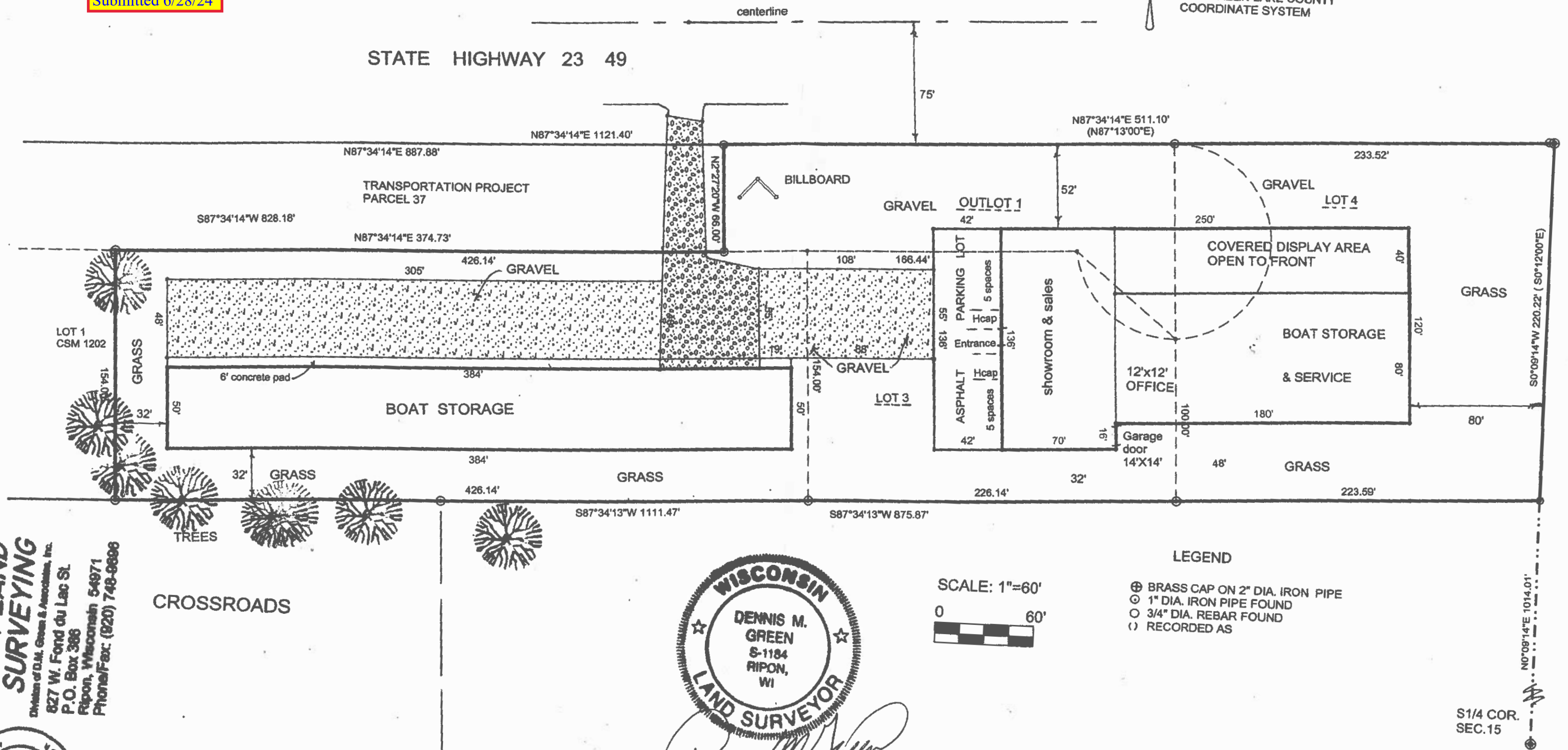
SITE PLAN FOR OFFICE AND STORAGE BUILDING
FOR S&L HOLDINGS LOCATED IN PART OF CERTIFIED
SURVEY MAP NUMBER 1202 LOCATED IN SE1/4 OF
THE SW1/4 OF SECTION 15, T.16N., R.13E., TOWN OF
BROOKLYN, GREEN LAKE COUNTY, WISCONSIN.

Submitted 6/28/24



BEARINGS REFERENCED TO THE
EAST LINE OF THE SW1/4 OF
SECTION 15 BEING N0°09'14"E AS
PER GREEN LAKE COUNTY
COORDINATE SYSTEM

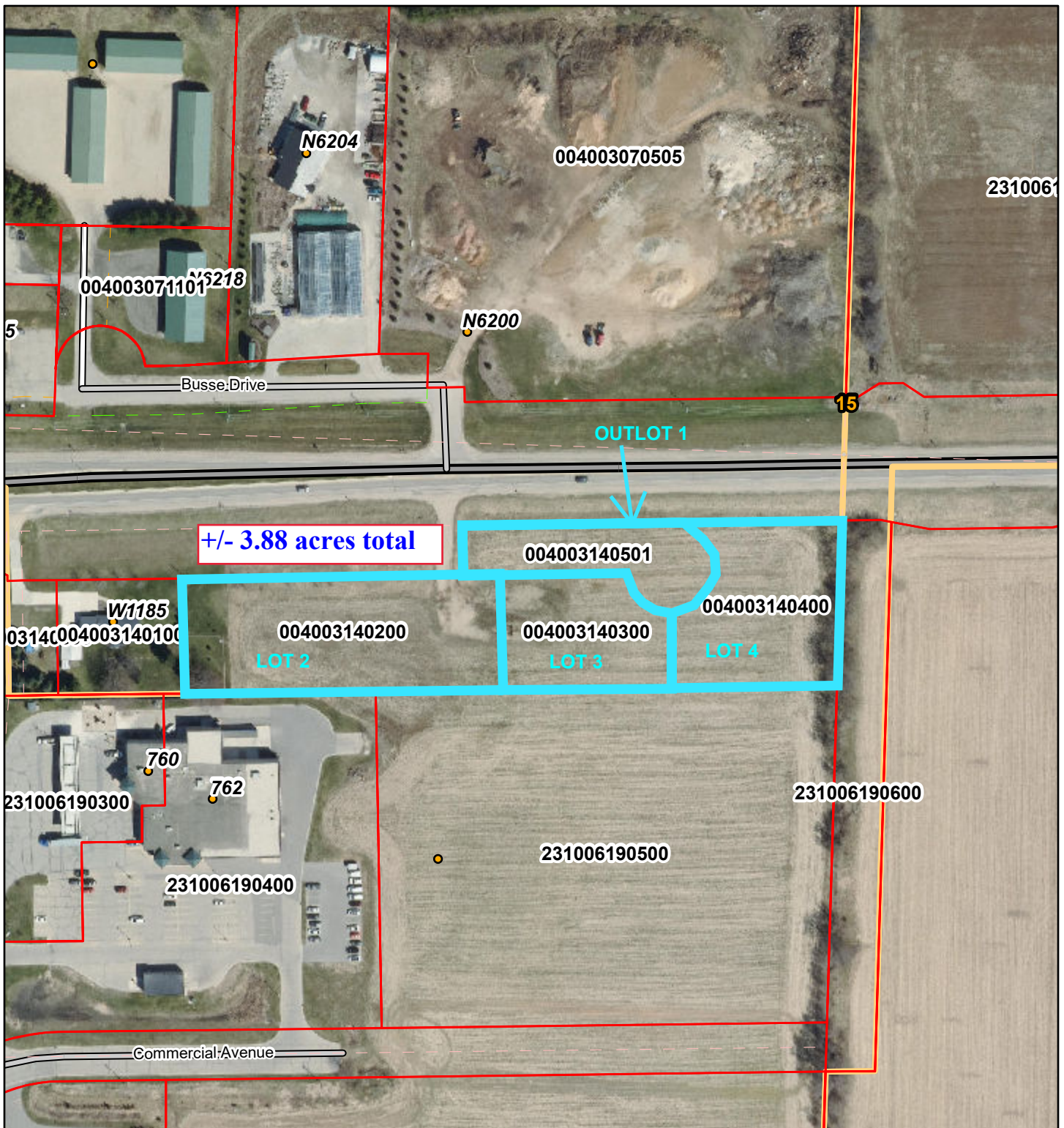
STATE HIGHWAY 23 49



RIPON LAND SURVEYING
Division of D.M. Green & Associates, Inc.
827 W. Fond du Lac St.
P.O. Box 386
Ripon, Wisconsin 54971
Phone/Fax: (920) 748-8888

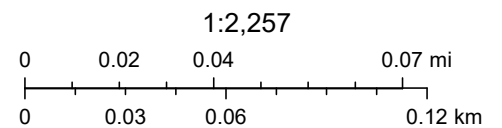


S&L Holding CUP Aerial Map 2020

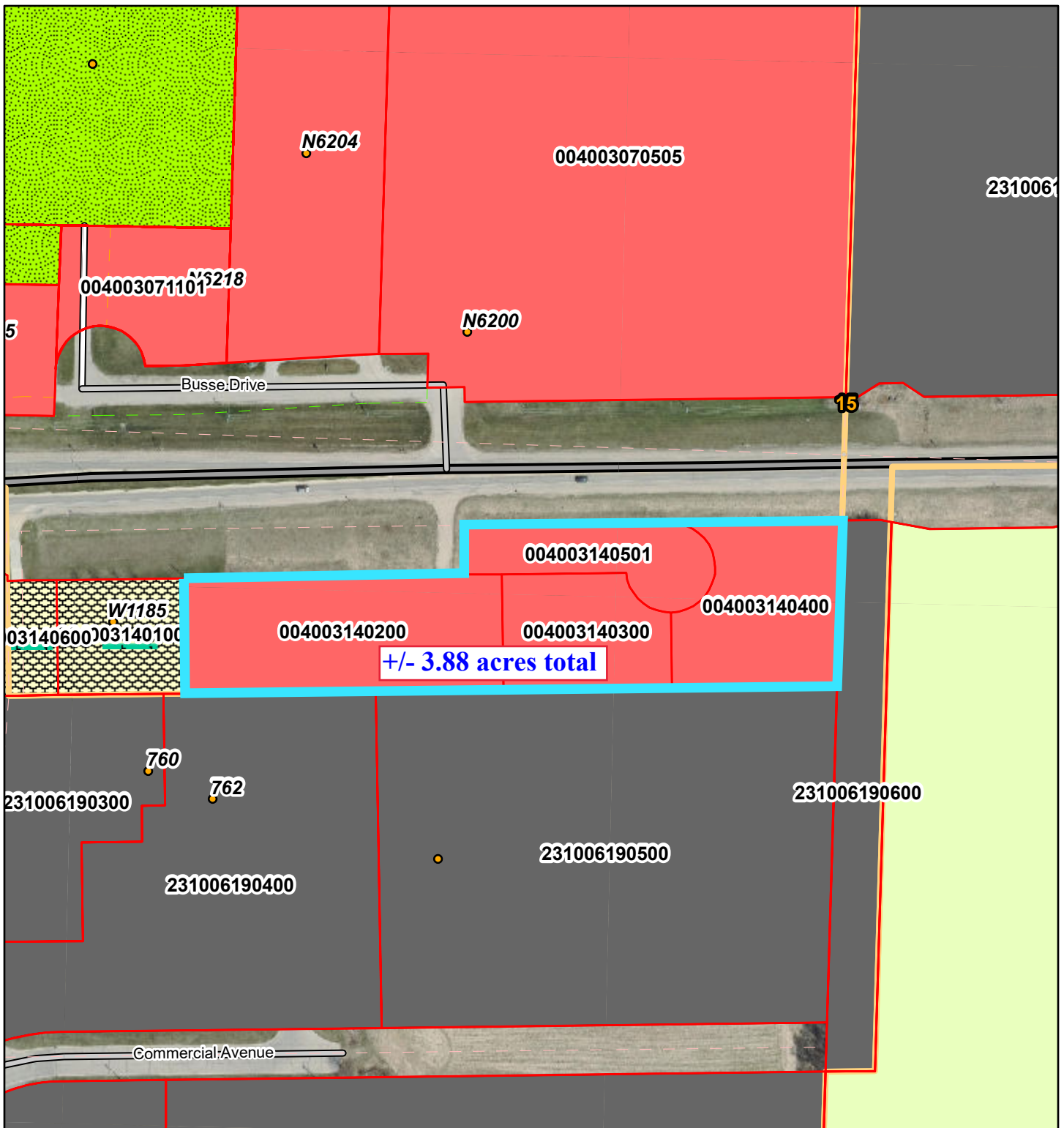


3/6/2024, 12:22:11 PM

- Address
- Section
- Corner
- SUB
- TaxParcel

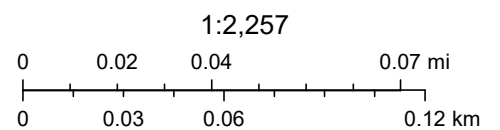


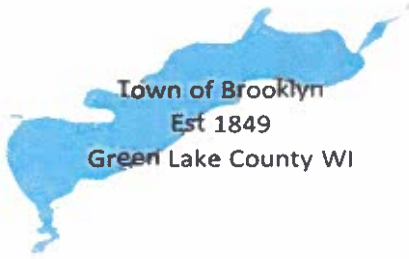
S & L Holding CUP Zoning Map



3/6/2024, 12:47:34 PM

- Address
- Section
- Corner
- SUB
- TaxParcel





Town of Brooklyn

N5988 County Road A | Green Lake, WI 54941
(920) 294-6600 | clerk@tn.brooklyn.wi.gov | www.townofbrooklyn.com

May 6, 2024

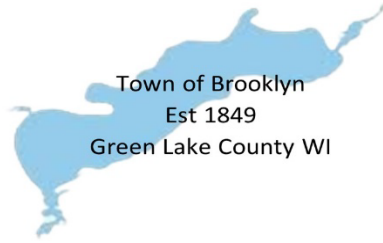
Green Lake County Planning and Zoning
571 County Road A
Green Lake WI 54941

RE: S&L Holding

These were the requests that were sent to Matt prior to last month's meeting and were not addressed at May 2nd meeting.

- All items / materials shall be stored within the building authorized under this CUP application
- A copy of the state-approved commercial building plans shall be provided to the LUP&Z Department prior to the Land Use Permit approval
- This CUP may be ultimately be revoked in accordance with Section 350-57 of the County Zoning Ordinance
- The DOT be contacted about a right turn lane be installed to the entrance when the Highway 23 is done next year and approved

Mike Wuest
Town of Brooklyn Chairman



Town of Brooklyn

N5988 County Road A | Green Lake, WI 54941
(920) 294-6600 | clerk@tn.brooklyn.wi.gov | www.townofbrooklyn.com

June 26, 2024

Green Lake County Planning and Zoning
571 County Road A
Green Lake WI 54941

RE: S&L Holding

- All items / materials shall be stored within the building authorized under this CUP application
- A copy of the state-approved commercial building plans shall be provided to the LUP&Z Department prior to the land use permit approval
- This CUP may ultimately be revoked in accordance with Section 350-57 of the County Zoning Ordinance
- The DOT be contacted about a right turn lane be installed to the entrance when Highway 23 is done next year and approved
- Detailed site plan showing all setbacks and lot lines
- Commercial building plans previewed by the Town Building Inspector and the State for approval
- Approval from the County and State for proposed signs

Mike Wuest
Town of Brooklyn Chairman

TOWN BOARD ACTION

Dear Land Use Planning and Zoning Committee:

Please be advised that the Town Board of Brooklyn, County of Green Lake, took the following action on –
(Date) _____.

Owner/Applicant: S&L Holdings WI LLC, /Lee Garro

Site Location: Highway 23 & 49

General legal description: Parcels 004-00314-0200, -0300, -0400, -0501, Lots 2,3,4 & Outlot 1 of CSM 1202, Town of Brooklyn, ±3.88 acres.

Request: Conditional Use Permit for a boat storage building, individual storage units, and a sales office.

Planned public hearing date for the above requests: July 11, 2024

_____ **Town Does Not object to and Approves of request**

_____ **No action taken**

_____ **Objects to and requests denial of request**

NOTE: If denial – please enclose Town Resolution of denial

- Reason(s) for objection:

Town Representative

6-26-24
Date Signed

NOTES: PLEASE NOTE ATTACHED COPY AS WE
ARE WORKING ON OUR P.C. COMMITTEE SHOULD
BE UP AND "RUNNING" SOON BUT FOR KNOW HAVE
ARE THE POINTS FOR THE COMMITTEE TO CONSIDER
THANK YOU TOWN OF BROOKLYN
Please return this form to the Land Use Planning & Zoning Office by: **July 10, 2024**

DETERMINATION OF THE LAND USE PLANNING AND ZONING COMMITTEE

Public Hearing Date: July 11, 2024

Owner: S&L Holdings WI, LLC.

Agent: Lee Garro

Parcels: #004-00314-0200, -0300, 0400, & -0501, Highway 23 & 49, Town of Brooklyn.

Request: Conditional Use Permit for a boat storage building, individual storage units, and a sales office.

Land Use Planning and Zoning Committee:

Curt Talma

Sue Wendt

William Boutwell

Chuck Buss

Gene Thom

Date signed: July 11, 2024

Committee vote: Ayes ____ Nays ____ Abstain ____ Absent ____

☐ **Approve**

☐ **With the conditions (listed on page 2)**

☐ **Deny.**

☐ **Modify as follows:**

Conditions of Approval:

General Conditions:

1. No additional expansion or addition of structures and/or uses relating to this conditional use permit shall occur without review and approval through future conditional use permit(s).
2. No outside storage of materials and other items is allowed.
3. An "As-Built" certificate of survey shall be provided to the Land Use Planning & Zoning Department within one year of the project completion. The certificate of survey shall show all existing buildings, building setback dimensions to lot lines, all access locations, electrical distribution equipment, easements, and any stormwater management appurtenances.
4. Any outdoor lighting shall comply with Section 350-23 of the County Zoning Ordinance.
5. Prior to construction, all parcels must be combined into a single parcel through a CSM.
6. A fire number application must be applied for and issued before Land Use Permit approval.
7. The applicant must obtain a Land Use Permit before any building construction starts.
8. No buildings shall be taller than 35 feet at peak height.
9. Also prior to land use permit issuance, documentation shall be provided to the LUP&Z Department indicating that the owner/applicant has applied for a stormwater and erosion control permit from WDNR.

Town of Brooklyn Conditions:

10. All items/materials shall be stored within the building(s) authorized under this CUP application.
11. A copy of the State-approved commercial building plans shall be provided to the LUP&Z Department prior to land use permit issuance.
12. This CUP may ultimately be revoked in accordance with Section 350-57 of the County Zoning Ordinance.
13. The DOT be contacted about a right turn lane be installed to the entrance when Highway 23 is done next year and approved.
14. Detailed site plan showing all setbacks and lot lines.
15. Commercial building plans previewed by the Town Building Inspector and the State for approval.
16. Approval from the County and State for proposed signs.