



GREEN LAKE COUNTY

571 County Road A, Green Lake, WI 54941

The following documents are included in the packet for the Land Use Planning & Zoning Committee meeting on Thursday, January 5, 2022.

Packet Pages:

- 2 Agenda

- 3-4 Draft Meeting Minutes from December 1, 2022

- 5-7 Financial Reports for November 2022

- 8-9 Permit Reports for November 2022

- 10-11 Violation Reports

- 12-34 Public Hearing

Item I Owner: Burton Werch Jr. **Site location:** W284 St Rd 91 **General legal description:** Parcel 002-00028-0000, part of the SE1/4 of S1, T17N, R13E, Town of Berlin, ±34.78 acres **Request:** Rezone ±3.1 acres from A1, Farmland Preservation District, to R4, Rural Residential District. To be identified by certified survey map.

Item II Owner: MNJ Development LLC **Agent:** Michael Monohan **Site location:** Eastridge Dr **General legal description:** Parcel 002-00850-000 & 002-00048-0300, part of the SW1/4 of S2, T17N, R13E, Town of Berlin, 3.7 acres **Request:** CUP for a 17-stall storage building.



GREEN LAKE COUNTY
LAND USE PLANNING & ZONING

Matt Kirkman
Director

Office: 920-294-4156
FAX: 920-294-4198

Land Use Planning & Zoning Committee
Meeting Notice

Date: January 5, 2023 Time: 4:00 PM
Location: Government Center, County Board Room #902, 571 County Road A, Green Lake WI

AGENDA

Committee
Members

Curt Talma, Chair

Chuck Buss
Vice Chair

Bill Boutwell

Gene Thom

Harley Reabe

Karen Werlein,
Secretary

Virtual attendance at meetings is optional. If technical difficulties arise, there may be instances when remote access may be compromised. If there is a quorum attending in person, the meeting will proceed as scheduled.

1. Call to Order
2. Pledge of Allegiance
3. Certification of Open Meeting Law
4. Approval of Minutes: 12/01/22
5. Public Comments: 3 minute limit
6. Department Activity Reports
 - a. Financial reports
 - b. Land use & septic permits
 - c. Violation reports
7. Planning and Zoning Committee Training (±15 minutes)
8. Public Hearing: (Not to begin before 4:30 PM)

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9. Future committee activities
 - a. Future agenda items
 - b. Next meeting date: February 2, 2023
10. Adjourn

This meeting will be conducted through in person attendance or audio/visual communication. Remote access can be obtained through the following link:

Microsoft Teams meeting

Join on your computer, mobile app or room device

[Click here to join the meeting](#)

Meeting ID: 239 766 132 38

Passcode: xM4D3h

[Download Teams](#) | [Join on the web](#)

Or call in (audio only)

[+1 920-659-4248,657389262#](#) United States, Green Bay

Phone Conference ID: 657 389 262#

[Find a local number](#) | [Reset PIN](#)

Please note: Meeting area is accessible to the physically disabled. Anyone planning to attend who needs visual or audio assistance, should contact the Land Use Planning & Zoning office, no later than 3 days before date of the meeting.

**GREEN LAKE COUNTY
LAND USE PLANNING AND ZONING
COMMITTEE MEETING MINUTES
Thursday, December 1, 2022**

CALL TO ORDER

Planning & Zoning Vice Chair Chuck Buss called the meeting of the Land Use Planning and Zoning Committee to order at 4:00 p.m. in the Green Lake County Government Center, County Board Room #0902, Green Lake, WI. The requirements of the open meeting law were certified as being met. Public access was available via remote programming as well as in person.

Present: **Gene Thom, Harley Reabe, Chuck Buss, Dan Sondalle**, Corporation Counsel

Absent: **Curt Talma, Bill Boutwell**

Also Present: **Matt Kirkman**, Land Use Planning and Zoning Director, **Caleb Edwards**, Land Use Specialist

PLEDGE OF ALLEGIANCE

The Pledge of Allegiance was recited.

APPROVAL OF MINUTES

Motion/second (Thom/Reabe) to approve the minutes of the November 3rd meeting. Motion carried with no negative vote.

PUBLIC COMMENTS:

None

DEPARTMENT ACTIVITY REPORTS

a. **Financial reports**

P&Z Director Matt Kirkman gave an update on the October expenses and revenues.

b. **Permits**

Matt Kirkman stated there were 19 land use permits and 15 sanitary permits in October.

c. **Violations**

Matt Kirkman outlined the current land use violations as well as the POWTS violations.

Update on short term rental properties:

Matt Kirkman discussed with committee that restrictions can be made to Chapter 148-Food Safety and Recreational Licensing Program.

Planning and Zoning Committee Training:

Not discussed

RECESS 4:25: ***Motion/second (Reabe/Thom)*** to recess at 4:25PM. Motion carried with no negative vote.

Motion/second (Reabe/Thom) to come back into session at 4:30pm to conduct the public hearing. Motion carried with no negative vote.

PUBLIC HEARING – 4:30PM

Vice Chair Buss read the rules for the Public Hearing

Item I Owner: A.F Gelhar Co., Inc **Agent:** Jim Rabideau **Site location:** N2402 Cty Rd A
General legal description: Parcel 006-00679-0100, 010-00046-0000, 010-00047-0000, 010-00048-0000, 010-00053-0200 part of the SE1/4 of S34, T15N, R13E & NE1/4 of S3, T14N, R13E, Town of Green Lake & Mackford, ±100 acres **Request:** Nonmetallic Mining Reclamation Permit.

- a. Public Testimony/Comment: Vice Chair Buss called for public input.
None
Buss closed the public comment.
- b. Committee Discussion: Matt Kirkman presented the Staff Report.

FUTURE COMMITTEE ACTIVITIES

- a. Future agenda items –
- b. Next meeting date – January 5, 2022

ADJOURN

Vice Chair Buss adjourned the meeting at 4:38pm.

Respectfully submitted,
Karen Werlein, Land Use Coordinator

**GREEN LAKE COUNTY
LAND USE PLANNING ZONING DEPARTMENT**

FEES RECEIVED	NOVEMBER				YEAR-TO-DATE				BUDGET	
	2021		2022		2021		2022		2022	
	NO.	AMOUNT	NO.	AMOUNT	NO.	AMOUNT	NO.	AMOUNT		
LAND USE PERMITS										
Total Monthly Issued Permits	17	6,600	8	1,750	214	66,250	232	\$ 56,100	\$ 60,000	94%
SANITARY PERMITS (POWTS)										
Total Monthly Issued Permits	15	4,245	7	1,960	111	30,350	72	\$ 20,140	\$ 26,000	77%
NON-METALLIC MINING PERMITS										
Annual Permit Fees	-	-	-	\$ -	5	10,800	18	\$ 15,200	\$ 15,000	101%
BOARD OF ADJUSTMENT										
Special Exception	-	-	-	-	-	-	-	-	-	
Variances	1	375	-	-	2	750	3	1,125	-	
Appeals	-	-	-	-	-	-	1	375	-	
Total	1	\$ 375	-	\$ -	2	\$ 750	4	\$ 1,500	\$ 1,125	133%
PLANNING & ZONING COMMITTEE										
Zoning Change	-	-	1	375	18	6,750	9	3,375	-	
Conditional Use Permits	4	1,500	-	-	15	5,625	15	5,625	-	
Variance	-	-	-	-	-	-	2	900	-	
Total	4	\$ 1,500	1	\$ 375	33	\$ 12,375	26	\$ 9,900	\$ 8,525	116%
MISC.										
Wisconsin Fund	-	-	-	-	-	-	-	-	-	
Fines & Forfeitures	1	107	-	-	6	911	5	400	-	
Total	1	\$ 107	-	\$ -	6	\$ 911	5	\$ 400	-	
SURVEYOR										
Certified Survey Maps	4	690	3	495	41	7,395	36	6,270	6,500	
Preliminary and Final Plats	-	-	-	-	-	-	-	-	-	
Applied Funds: County Surveyor	-	-	-	-	1	9,500	-	-	9,500	
Total	4	\$ 690	3	\$ 495	42	\$ 16,895	36	\$ 6,270	\$ 16,000	39%
GIS (Geographic Information System)										
Map Sales	-	-	-	-	1	30	1	15	-	
Land Records Transfer	-	-	-	-	-	-	-	-	25,000	
Land Information Grant	-	-	-	-	-	-	-	-	10,000	
Total	-	\$ -	-	\$ -	1	\$ 30	1	\$ 15	\$ 35,000	0%
GRAND TOTAL										
									Total	72%

Account No/Description	Budget Amount	Period Amount	Y-T-D Amount	Balance	Percent Received
10 Land Use Planning and Zoning					
22-100-10-44400-000-000 Land Use Permits	60,000.00	1,750.00	56,100.00	3,900.00	93.50
22-100-10-44400-001-000 BOA Public Hearing	1,125.00	.00	1,500.00	-375.00	133.33
22-100-10-44400-002-000 PZ Public Hearing	8,525.00	375.00	9,900.00	-1,375.00	116.13
22-100-10-44409-000-000 Non-Metallic Mining	15,000.00	.00	15,200.00	-200.00	101.33
22-100-10-44410-000-000 Sanitary Permits	26,000.00	1,960.00	20,140.00	5,860.00	77.46
22-100-10-45110-000-000 Fines & Forfeitures	.00	.00	600.00	-600.00	.00
22-100-10-46131-002-000 Strategic Fund	10,000.00	.00	.00	10,000.00	.00
22-100-10-46762-000-000 Certified Survey Maps	6,500.00	495.00	6,270.00	230.00	96.46
22-100-10-47411-000-000 Interdepartment transfer/Land Records	25,000.00	.00	.00	25,000.00	.00
10 Land Use Planning and Zoning	152,150.00	4,580.00	109,710.00	42,440.00	72.11

Run Date 12/29/22 08:21 AM

GREEN LAKE COUNTY

Page No 1

For 11/01/22 - 11/30/22

Expenditure Summary Report

FJEXS01A

Periods 11 - 11

Land Use & Zoning Month End Expenses

MEE100-10-P&Z

<u>Account No/Description</u>	<u>Adjusted Budget</u>	<u>Y-T-D Encumb</u>	<u>Period Expended</u>	<u>Y-T-D Expended</u>	<u>Available Balance</u>	<u>Percent Used</u>
10 Land Use Planning and Zoning						
53610 Code Enforcement						
22-100-10-53610-110-000 Salaries	314,134.00	.00	24,228.80	253,096.43	61,037.57	80.57
22-100-10-53610-140-000 Meeting Payments	940.00	.00	.00	435.29	504.71	46.31
22-100-10-53610-151-000 Social Security	24,034.00	.00	1,772.94	19,829.41	4,204.59	82.51
22-100-10-53610-153-000 Ret. Employer Share	20,422.00	.00	1,574.88	17,419.02	3,002.98	85.30
22-100-10-53610-154-000 Health Insurance	53,482.00	.00	4,194.02	55,073.62	-1,591.62	102.98
22-100-10-53610-155-000 Life Insurance	321.00	.00	27.18	288.68	32.32	89.93
22-100-10-53610-210-002 Professional Services	9,500.00	.00	3,315.00	16,485.00	-6,985.00	173.53
22-100-10-53610-210-003 Miscellaneous Fees	300.00	.00	.00	.00	300.00	.00
22-100-10-53610-225-000 Phone Service	610.00	.00	84.90	1,086.28	-476.28	178.08
22-100-10-53610-242-000 Print Management	300.00	.00	23.65	173.73	126.27	57.91
22-100-10-53610-307-000 Training	300.00	.00	525.83	525.83	-225.83	175.28
22-100-10-53610-310-000 Office Supplies	790.00	.00	.00	917.12	-127.12	116.09
22-100-10-53610-312-000 Field Supplies	600.00	.00	.00	79.96	520.04	13.33
22-100-10-53610-312-001 Non-Metallic Mining Expense	.00	.00	269.62	269.62	-269.62	.00
22-100-10-53610-320-000 Publications-BOA Public Hearing	500.00	.00	.00	976.00	-476.00	195.20
22-100-10-53610-320-001 Publications-PZ Public Hearing	3,000.00	.00	487.00	2,828.25	171.75	94.28
22-100-10-53610-321-000 Seminars	930.00	.00	.00	350.00	580.00	37.63
22-100-10-53610-324-000 Member Dues	130.00	.00	.00	140.00	-10.00	107.69
22-100-10-53610-330-000 Travel	820.00	.00	.00	92.00	728.00	11.22
22-100-10-53610-352-000 Vehicle Maintenance	938.00	.00	37.97	694.49	243.51	74.04
53610 Code Enforcement	432,051.00	.00	36,541.79	370,760.73	61,290.27	85.81
10 Land Use Planning and Zoning	432,051.00	.00	36,541.79	370,760.73	61,290.27	85.81

Land Use Permits: 11/01/2022 - 11/30/2022

Town of Berlin

Permit Number	Parcel Number	Site Address	Issued Date	Owner Name	Estimated Cost	Project_1 Type/SubType	Project_1 Description	Project_2 Type/SubType	Project_2 Description
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None

Town of Brooklyn

Permit Number	Parcel Number	Site Address	Issued Date	Owner Name	Estimated Cost	Project_1 Type/SubType	Project_1 Description	Project_2 Type/SubType	Project_2 Description
13292	004016050100	N5570 OLD OAK LN	11/02/2022	BRICEN ALVORD, KATHERINEM ALVORD	\$13,885.00	Land Disturbing Activity - Impervious Surface Treatment Device	184cuft Infiltration Basin	Land Disturbing Activity - Impervious Surface Treatment Device	200cuft infiltration basin
13297	004006640000, 004006650000, 004006660100, 004006670100	N5635 COUNTY ROAD A , N5627 COUNTY ROAD A , N5611 COUNTY ROAD A , N5601 COUNTY ROAD A	11/03/2022	MICHAEL T & STACY A GAUTHIER	\$25,000.00	Land Disturbing Activity - Grading	N5627 and N5635 Filling and grading around culvert coming up from erosion	Land Disturbing Activity - Grading	N5636 Grading of area

Town of Green Lake

Permit Number	Parcel Number	Site Address	Issued Date	Owner Name	Estimated Cost	Project_1 Type/SubType	Project_1 Description	Project_2 Type/SubType	Project_2 Description
13262	006014980100	W2752 OAKWOOD BEACH RD	11/23/2022	JEROME T & DEBORAH M LANGDON JOINT REVOCABLE TRUST	\$275,000.00	Accessory Structures	Detached garage, detached porch, walkway, curved retaining wall	Land Disturbing Activity - Impervious Surface Treatment Device	16 infiltrators with clear stone base
13287	006010650000	W1325 SPRING GROVE RD	11/08/2022	SOUTHSHORE TERRACE HOA INC	\$188,000.00	Principal Structure SFD	Will have concrete pad beneath.		
13288	006010650000	W1325 SPRING GROVE RD	11/08/2022	SOUTHSHORE TERRACE HOA INC	\$182,000.00	Accessory Structure	Attached Deck/Patio	Principal Structure SFD	SFD will have concrete slab beneath.
13303	006005500000	N2983 E LITTLE GREEN RD	11/29/2022	GOLF SHORES LLC	\$15,000.00	Addition/Alteration to Principal Structure	Lateral Expansion within shoreland setback. Screen Porch/ 3 season room	Land Disturbing Activity - Impervious Surface Treatment Device	Two 6 infiltrator chambers. Shorland area and roadside of house

Town of Kingston

Permit Number	Parcel Number	Site Address	Issued Date	Owner Name	Estimated Cost	Project_1 Type/SubType	Project_1 Description	Project_2 Type/SubType	Project_2 Description
None									

Town of Mackford

Permit Number	Parcel Number	Site Address	Issued Date	Owner Name	Estimated Cost	Project_1 Type/SubType	Project_1 Description	Project_2 Type/SubType	Project_2 Description
None									

Town of Manchester

Permit Number	Parcel Number	Site Address	Issued Date	Owner Name	Estimated Cost	Project_1 Type/SubType	Project_1 Description	Project_2 Type/SubType	Project_2 Description
13304	012002760200	N1551 COUNTY ROAD S	11/21/2022	TODDM BOELTER	\$30,000.00	Accessory Structure	1256 sqft Detached Garage		

Town of Marquette

Permit Number	Parcel Number	Site Address	Issued Date	Owner Name	Estimated Cost	Project_1 Type/SubType	Project_1 Description	Project_2 Type/SubType	Project_2 Description
None									

Town of Princeton

Permit Number	Parcel Number	Site Address	Issued Date	Owner Name	Estimated Cost	Project_1 Type/SubType	Project_1 Description	Project_2 Type/SubType	Project_2 Description
13300	016010850000	N4615 OAK RD	11/15/2022	LAERTEP VENTURI, SUSANT VENTURI	\$60,000.00	Land Disturbing Activity - Impervious Surface Treatment	3 Rain gardens adding up to 320sqft	Addition/Alteration to Principal Structure	455 sqft addition increasing bedroom size and adding screened porch

Town of Saint Marie

Permit Number	Parcel Number	Site Address	Issued Date	Owner Name	Estimated Cost	Project_1 Type/SubType	Project_1 Description	Project_2 Type/SubType	Project_2 Description
13293	018002700100	N6466 COUNTY ROAD J	11/02/2022	CINDIS & STEVENL STEGER	\$47,755.00	Accessory Structure	Solar Panel Array	Land disturbing activity	Trenching for wiring

Town of Seneca

Permit Number	Parcel Number	Site Address	Issued Date	Owner Name	Estimated Cost	Project_1 Type/SubType	Project_1 Description	Project_2 Type/SubType	Project_2 Description
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None

November Estimated Cost:

\$836,640.00

YTD Estimated Cost:

\$43,143,213.00

Sanitary Permits: 11/1/2022 - 11/30/2022

Sanitary Permit	Parcel Number	Site Address	Owners	Date Issued	Permit Type	System Type	Plumber Name	Additional Explanation	Permit Fee \$ (County)	Permit Fee \$ (DSPS)
202224066	016010900000	N4633 OAK RD	BRETTA ANDERSON, KIMT ANDERSON	11/01/2022	Replacement System	Mound	Jeremiah Storer	2 Bedroom House	280	100
202224067	006000630000	W1315 SCOTT HILL RD	JOSEPHR GAFFNEY	11/02/2022	New System	Conventional (Non-Pressurized In-Ground)	Ben Kinan	Personal garage	280	100
202224068	006009360200	N3165 LUEDTKE RD	THOMAS A SIMONS AND MARYT SIMONS JOINT TRUST	11/02/2022	Replacement System	Conventional (Non-Pressurized In-Ground)	Jeremiah Storer	3 Bedroom House	280	100
202224069	008001071702	W5217 COUNTY ROAD B	DEVONR SCHLABACH, DEVON R & LAURA W SCHLABACH, LAURAW SCHLABACH	11/02/2022	New System	Conventional (Non-Pressurized In-Ground)	Dustin Hoffmann	Shop with 5 Employees	280	100
202224070	014002340100	W5620 PINE RD S	GREGORY J & LORELLE J GERTH	11/03/2022	Replacement System	Conventional (Non-Pressurized In-Ground)	Lichtfeld, T	2 Bedroom Mobile Home	280	100
202224071	010005870200	W1759 PRAIRIE DR	DANIELC KUHFUSS	11/09/2022	Replacement System	Conventional (Non-Pressurized In-Ground)	Jeremiah Storer	4 Bedroom House	280	100
202224072	004004100527	W1726 NORTH ST	OUTDOOR PROPERTIES LLC, YUKON PARTNERS LLC	11/16/2022	New System	Conventional (Non-Pressurized In-Ground)	Jeffrey Novak	Shop for 6 Employees	280	100
202224073	014001300100	W5661 RIVERVIEW DR	AMYJ MORRIS, SARAHE HOPP	11/30/2022	Replacement System	Conventional (Non-Pressurized In-Ground)	Alan Mashuda	2 Bedroom	280	100
Total:									2240	800

* There are additional properties associated with the permit

Land Use Violations Report

First Notice

Parcel Number	Site Address	Owner Name	Permit #	Violation Type	Violation Description	Violation Date
006005810101	N2730 Welk Rd.	Ricky & Ashley Ruck	13069	Zoning	Commercial sale of firewood on R-1 zoned property. Unoccupied outside storage of trailers without dwelling unit on parcel. No changes	2/28/2022
004003390201, 0204		Zodrow Properties	13086	Zoning/Vehicles	Trailers and RV on parcels that do not allow for it the way they currently sit. No permitted commercial use on C-2 parcel and no dwelling on R-4 parcel. Violation is happening between both parcels. C-2 & R-4 parcels involved and location is not 100% which equipment and materials are on each parcel. Need CUP	3/11/2022
004004440000	W2398 State RD	Philip Mirr	13152	Zoning	Operating a contractors yard in C2 Zoning. Ordinance passed. Need CUP	5/24/2022
006013840000, 006006140000	N2811 Park Rd	Roses Lakeside Properties LLC		Zoning	Improvements made without land use permit. Condition not met from 2005 CUP.	11/9/2022

Second Notice

Parcel Number	Site Address	Owner Name	Permit #	Violation Type	Violation Description	Violation Date
010003910200	W2194 Cty Rd X	David Cotterill	12995	Zoning/Vehicles	Three Structures built without permits (Barn/cabin, Shipping Container, Shed). Update 11/24/21: Spoke with David Cotterill regarding his violations. He said that he is on revision number 3 of his dwelling building plans. He intends to build a new house and a new shed in 2022. I instructed him to apply for a sanitary permit, and a land use permit by the end of the year. He is to include the ice shanty and storage barn structure on that application. The metal shipping container is not allowed on site once the shed is completed.	10/22/2021
014001780000	N4474 Pine Rd E	Sammie Smith	12964	Zoning	Camper on A-1 zoned property. Update 10/12/22: Camper unmoved	9/10/2021

Corporation Counsel

Parcel Number	Site Address	Owner Name	Permit #	Violation Type	Violation Description	Violation Date
012002580000	N1615 Madison St.	Donald & Nancy Darsch	13046	Junk/Vehicles	Garbage and Junk piles throughout the property. Unlicensed and/or inoperable vehicles. Update 2/15/22: Working with health department. Sent to Corporation counsel on 4/22/22.	1/20/2022

POWTS Violation Report

First Notice:

Parcel Number	Site Address	Owner Name	Permit #	Violation Type	Violation Description	Additional Information
016007980500	N5588 Lock Rd	THOMAS KUJAC	202024007	POWTS Failure	Not all wastewater is run into new septic system	On hold. House deemed uninhabitable by health

Second Notice:

Parcel Number	Site Address	Owner Name	Permit #	Violation Type	Violation Description	Additional Information
004009950000	N5552 Old Oak Ln.	PAFF FREDERICKA	10024391	POWTS Failure	System is a Cesspool Holding tank used when another type of	possibly working with Novak
006003320000	W2353 Center Rd	VALERIE & PAUL ALBRECHT	201624077	POWTS Violation	system could be used	New permit
006001980000	W591 Thomas Rd	Carl Wilke	624010	POWTS Failure	Tank not watertight	Working with Egbert
016000090000	N6123 Swamp Rd	James Hebbe	1624006	POWTS Failure	Tank not watertight	Working with Kinas
002002110000	N8725 WHITE RIDGE RD	BLOCK KELIE	131	POWTS Failure	Tank not watertight	
004008740000	N5533 LAWSON DR	AMERICAN BAPTIST ASSEMBLY	398126	POWTS Failure	Tank not watertight	
006010220701	W1740 SANDSTONE AVE	WOOD SIMON	159178	POWTS Failure	Tank not watertight	Working with Pollesch
014001720000	W5156 PINE RD N	HEINECKE RANDAL R ET AL	26724	POWTS Failure	Tank not watertight	Working with Contractor. Waiting on soil test
014008340000	W4052 COUNTY ROAD H	NOWATZSKI KATHY	1424052	POWTS Failure	Tank not watertight	
016002370000	N5549 COUNTY ROAD W	MILLIS NICHOLE	26761	POWTS Failure	Tank not watertight	New permit
016002620600	N5193 COUNTY ROAD D	MARCOE ELYSE	1624026	POWTS Failure	Tank not watertight	Maybe working with Pollesch
016007700000	W5897 STATE ROAD 23	HAZELWOOD WANETTA ET AL	26752	POWTS Failure	Tank not watertight	New Permit
018000570000	W3602 PINE RD	BREWER DOUGLAS & SALLY	258	POWTS Failure	Tank not watertight	New permit
154000890000	150 W 2nd St	KENNETH & JEAN KOERNER	593	POWTS Failure	probable suface discharge	New permit
006001350000	N4474 LAKEVIEW RD	GREGORY ZIER	18201	POWTS Failure	Tank failure	Resent letter 7/22
008005940000	W6521 W North St	RHONDA BARKER	11	POWTS Failure	Tank failure	

Corp Counsel

Parcel Number	Site Address	Owner Name	Permit #	Violation Type	Violation Description	Additional Information
016009230000	W5880 WALTER WILLIAMS RD	PROG ROD-GUN CLUB	10024250	POWTS Failure	Tank unsound	Has new permit
016009230000	W5886 WALTER WILLIAMS RD	PROG ROD-GUN CLUB	10024249	POWTS Failure	Tank failure	Has new permit
016009230000	N4922 RAY SHORTER RD	PROG ROD-GUN CLUB	10024256	POWTS Failure	Tank failure	Resent letter 7/22
016009230000	N4914 RAY SHORTER RD	PROG ROD-GUN CLUB	10024257	POWTS Failure	Tank failure	Has new permit
016009230000	N4904 RAY SHORTER RD	PROG ROD-GUN CLUB	10024259	POWTS Failure	Tank compromised	Has new permit
016009230000	W5894 WALTER WILLIAMS RD	PROG ROD-GUN CLUB	10024095	POWTS Failure	Tank unsound	Has new permit
016009230000	N4939 RAY SHORTER RD	PROG ROD-GUN CLUB	10024253	POWTS Failure	Tank failure	Has new permit

NOTICE OF PUBLIC HEARING

The Green Lake County Land Use Planning and Zoning Committee will hold a public hearing in County Board Room #0902 of the Green Lake County Government Center, 571 County Road A, Green Lake, WI, on **Thursday, January 5, 2023, at 4:30 p.m.** to consider the following requests:

Item I Owner: Burton Werch Jr. **Site location:** W284 St Rd 91 **General legal description:** Parcel 002-00028-0000, part of the SE1/4 of S1, T17N, R13E, Town of Berlin, ±34.78 acres **Request:** Rezone ±3.1 acres from A1, Farmland Preservation District, to R4, Rural Residential District. To be identified by certified survey map.

Item II Owner: MNJ Development LLC **Agent:** Michael Monohan **Site location:** Eastridge Dr **General legal description:** Parcel 002-00850-000 & 002-00048-0300, part of the SW1/4 of S2, T17N, R13E, Town of Berlin, 3.7 acres **Request:** CUP for a 17-stall storage building.

All interested persons wishing to be heard at the public hearing are invited to attend. For further detailed information concerning this notice and for information related to the outcome of public hearing items, contact the Green Lake County **Land Use Planning and Zoning Department** at (920) 294-4156.

Publish: December 22, 2022

LAND USE PLANNING AND ZONING COMMITTEE STAFF REPORT

PUBLIC HEARING

January 5, 2023

ITEM I: ZONING CHANGE

OWNER:

Burton Werch Jr.

APPLICANT:

Same

REQUEST: The applicants are requesting a zoning change for ± 3.0 acres from A-1, Farmland Preservation District to R-4, Rural Residential District. To be identified by certified survey map.

PARCEL NUMBER / LOCATION: The affected parcel number is 002-00028-0000 (± 34.78 acres), located in the NW $\frac{1}{4}$ of the SE $\frac{1}{4}$ of Section 1, T17N, R13E, Town of Berlin. The site proposed for the zoning change is located at W284 State Highway 91.

EXISTING ZONING AND USES OF ADJACENT AREA: The current zoning of parcel 002-00028-0000 is A-1. The property is currently used for agriculture and woods with a residence. Most of the lands surrounding this parcel are also zoned A-1, Farmland Preservation District and appear to be used agriculturally. There is one property zoned as R-4, Rural Residential District to the south with a residence.

ADDITIONAL INFORMATION / ANALYSIS: Parcel 002-00028-0000 is ± 34.78 acres of A-1, Farmland Preservation District. Most of the property appears to be farmed with a residence located on the property. There are also some old records that there was an old copper mine located on this property, however it was abandoned and closed.

The soils on this property fall between class I, class II, and class III. Class I soils are defined as “soils have few limitations that restrict their use”. Class II soils are defined as “soils have moderate limitations that reduce the choice of plants or that require moderate conservation practices”. Class III soils are defined as “soils that have severe limitations that reduce the choice of plants, require special conservation practices, or both”.

About 1.26 acres are considered as class I soils, however within the class I soils there is a house, shed, filled in mine shaft, and ± 0.50 acres where water pools in the spring according to the owner. There are ± 0.42 acres of class II soils, however there is a ± 0.18 -acre area where water pools in the spring according to the owner. There are ± 1.4 acres within the class III soils which would be suitable for farming with the addition of irrigation. Based on the proposed parcel 56% of the soils on the property are considered as most suitable for farming, however if the areas that are occasionally wet in the spring are considered as unfarmable then that percentage drops down to 33%. (See attached soil map)

STATUTORY CRITERIA PER 91.48(1): Land may be rezoned out of a farmland preservation zoning district if all of the following are found after public hearing: **(Staff comments in bold)**

- a) The land is better suited for a use not allowed in the farmland preservation zoning district. **The proposed parcel consists of 56% (33% if wet areas taken out) good soils for agriculture and the rest of the soils being in class III considered as farmable with irrigation. There is also an old mine on the property which has been filled and abandoned, however it is unknown what the size of this mine was. It could be argued either way as for what the best use is for this property.**
- b) The rezoning is consistent with any applicable comprehensive plan. **The proposed rezone is consistent with the county's comprehensive plan as it upholds the goals and objectives, most prominently the goal to preserve the rural characteristic of the county. Section 350-41 of the County Zoning Ordinance states that the R-4 district is intended to provide for limited rural residential use development, require a large residential lands area to maintain the rural character, and to accommodate uses that are not urban in nature**
- c) The rezoning is substantially consistent with the county certified farmland preservation plan. **The overall goal of the county certified Farmland Preservation Plan is to maintain the integrity and viability of county agriculture...without damaging the economic and social environment or the natural resources..." Due to R-4's uses being complimentary and not in conflict with agricultural lands and uses, it is staff's belief that the request does not negatively impact the integrity or viability of county agriculture and is, therefore, substantially consistent with the county's certified Farmland Preservation Plan.**
- d) The rezoning will not substantially impair or limit current or future agricultural use of the surrounding parcels of land that are zoned for or are legally restricted to agricultural use. **The R-4, Rural Residential District is intended to provide for limited rural residential use development, but also require a larger area to maintain the rural character and to accommodate uses like light agriculture. The R-4 district is intended not to impair or limit future agricultural use of surrounding parcels.**

TOWN OF BERLIN: An Action Form requesting the Town's input related to this zoning change request was emailed to the Town Clerk on November 11, 2022. The Town Board did not object to and did recommend approval of this request.

Please type or use black ink

Return to: Green Lake County
Planning & Zoning Department
571 County Road A
Green Lake, WI 54941

GENERAL APPLICATION

Fee \$375.00 (not refundable) Date 10-24-22

Zone Change from A-1 to R-4

Conditional Use Permit for _____

Other _____

PROPERTY OWNER / APPLICANT

Name BURTON WERCH JR.

Mailing Address W102 ST. RD 91 BERLIN WI 54923

Phone Number 920-428-5715

Signature Burton Werch Jr. Date 10-24-22

AGENT IF OTHER THAN OWNER

Name _____

Mailing Address _____

Phone Number _____

Signature _____ Date _____

PROPERTY INFORMATION

Town of BERLIN Parcel Number 002000280000 Acres 34.78

Lot _____ Block _____ Subdivision _____

Section 1 Town 17 North Range 13 East

Location of Property W284 ST. RD. 91 BERLIN WI 54923

Legal Description SW 1/4 OF THE SE 1/4 SEC 1 EXC THE 40R OF THE
E 16R & EX 1.22 ACRES FOR HWY

Current Zoning Classification A1 Current Use of Property FARMLAND

AND RESIDENCE HOUSE

Detailed Description of Proposed Use GOAL IS TO KEEP AS MUCH LAND AS
POSSIBLE TO BE CROPPED BY MODERN STANDARDS AND TO KEEP THE PARCEL
AS A RESIDENCE AS HAS BEEN FOR OVER 100 YRS.

PLEASE PROVIDE A DETAILED SITE PLAN WITH THE APPLICATION

Fees: Zone Change \$375
Conditional Use Permit \$375.00
Variance \$375.00
Special Exception \$375.00
NMM Reclamation Permit \$450

Better Suited for a non-ag use

- Old Copper Mine?
- Hard to farm with Modern Equipment
- Water issues ^{East side} ~~around~~ house in Spring

10-24-22

Haleb,

Thank you again for your time today, and help in the matter we discussed. Enclosed is the material we discussed on the Copper mine on my property. I have only printed the first two pages of the document as it will verify what we discussed and the history of this farm. I have owned since July of 1990, and had rented the land since 1970.

The article refers to Hwy 116 that is now Hwy 91. Col. Henschultz was a well respected individual in our area. If you have any questions or there is anything else I should do, please let me know.

Burt W. W. W.

Legett

Earl

A paper written by Col. Hauschultz
25 October 1964
St. Anthony's Hospital

THE RIDGE

At the behest of our good friend, Annabelle Wood, and realizing now, particularly, the import of her words that "we must put things in writing so that Posterity can know, otherwise the knowledge dies with us," I am putting down, as best I can, a chronology of the persistent stories of massive copper ore deposits in the vicinity of Berlin, Wisconsin. The vast part of the stories started before I was born and thus, of course, I must relate as I heard it.

I was a boy of six, and we were living on the farm presently owned by our family, two and one-half miles east of Berlin, situated on what is now State Highway 116 in the extreme northeast corner of Green Lake County.

It was in the Spring of 1917. My father was plowing the east field bordering the road when a car drove on the yard with two men desiring to talk to him. In 1917, anyone who owned a car was a person of some importance. The two men proved to ^{be} a Mr. Davidson, a lawyer from Ripon, accompanied by Mr. Roy "Brewer who related the following account to my father:

Mr. Brewer's father who was Dan Brewer, and well-known around Berlin, had been a well driller and, as a matter of fact, had drilled most of the farm wells around the town of Berlin. (Strangely enough, I was born on State St in Berlin, WI in 1911 and the Dan Brewer's lived two doors north of us, and although being only a very small child, I remember Mr. Brewer's well drilling rig which he had contrived to make self-propelled with the engine which normally operated the hammer when it was drilling wells, and this rig, of course, was a source of great interest to the boys of my age on our street.)

When Dan Brewer drilled the well situated on our farm, he claimed that his drill had penetrated copper ore at 66 feet which caused his tool to offset within the bore; however, he continued to pound until he had punched through a combination of three feet of rock and copper, and then an additional three feet of pure red copper. I don't know the exact date when this well would have been drilled, but suspect it could be confirmed in the archives of the Berlin Evening Journal in the Berlin Library. The farm at that time, I believe, was the property of a local banker by the name of "Fitch". This was some time prior to 1900.

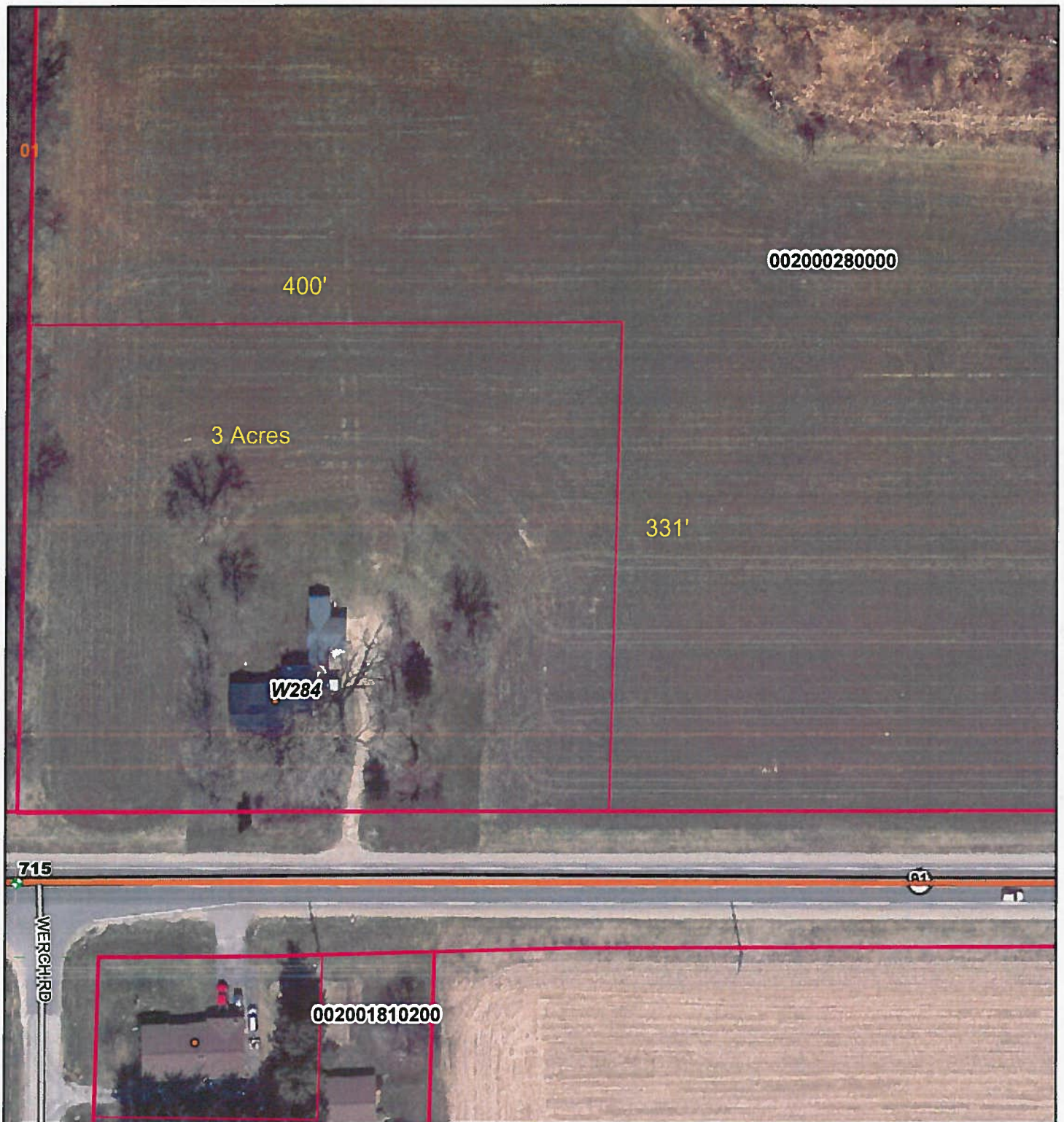
In any event, Mr. Fitch financed Mr. Dan Brewer to sink a shaft to the ore deposit, of such proportions that a mining operation could be effected. Such a shaft was, in fact, begun and according to Mr. Roy Brewer's story, his father went through 20 feet of earth until he hit bedrock, at which time he did drill and blast and drill and blast again. Remember that this would have been before the 1900's and such drilling was by hand, with blasting done by fuse, and having to evacuate the shaft, of course, so as not to be killed, and waiting for the blast fumes to dissipate. This must have been a most time-consuming operation. In any event, Dan Brewer continued to sink his mine shaft for two years. He reached a level, according to the story, of about 41 feet having gone through as I said before 20 feet of earth and then 21 feet of hard rock. This, you can see, left him far short of the level where his drill had located the deposit, and for reasons known only to Mr. Fitch, he decided to close down operations, and the shaft was eventually closed. This was the story we heard on this April afternoon in 1917 as related by Mr. Roy Brewer.

All these events made a strong impression on me. To now put this story into context, let me sketch in the geography of the terrain wherein this alleged deposit is.

The primary industry of the town of Berlin for many years was the quarrying of building stone from gray granite, and as a matter of fact, this bubble of gray granite is the predominant geographical feature of this small city today. Mounted on this granite promontary is their water reservoir which stands much higher than the surrounding countryside. This granite bubble is on the northeast corner of the city of Berlin and forms the beginning of a ridge running approximately due east, paralleling State Highway 116 which is the identical ridge which runs through our farm property and through which Dan Brewer drilled his well. The ridge, with some variations, runs approximately from Berlin to Eureka. It is this same ridge which figures in the "Berlin Story" or "The Day They Gave the Babies Away".

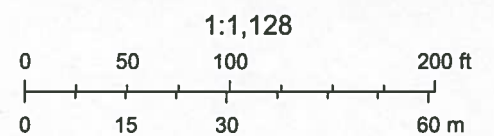
It is common knowledge that granite is of volcanic origin and pushed up in molten form from the subterranean depths and cooled in place. There are several of these large granite deposits in the State of Wisconsin, one as I have said at Berlin, one at Redgranite, one at Lohrville, and I believe, Platteville, also, has an igneous foundation although not granite in nature. What makes Wisconsin an interesting geological study is that the great majority of the surface features were, in fact, formed by the Glacial Age,

GIS Viewer Map



10/24/2022, 9:26:27 AM

- Address
- Section
- Corner
- TaxParcel
- QUARTER

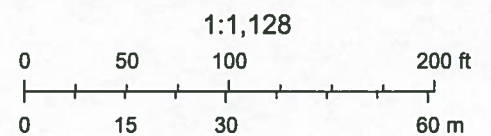


GIS Viewer Map



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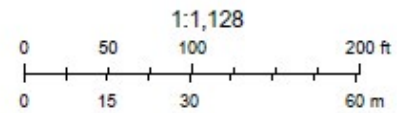


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12/19/2022, 10:44:14 AM

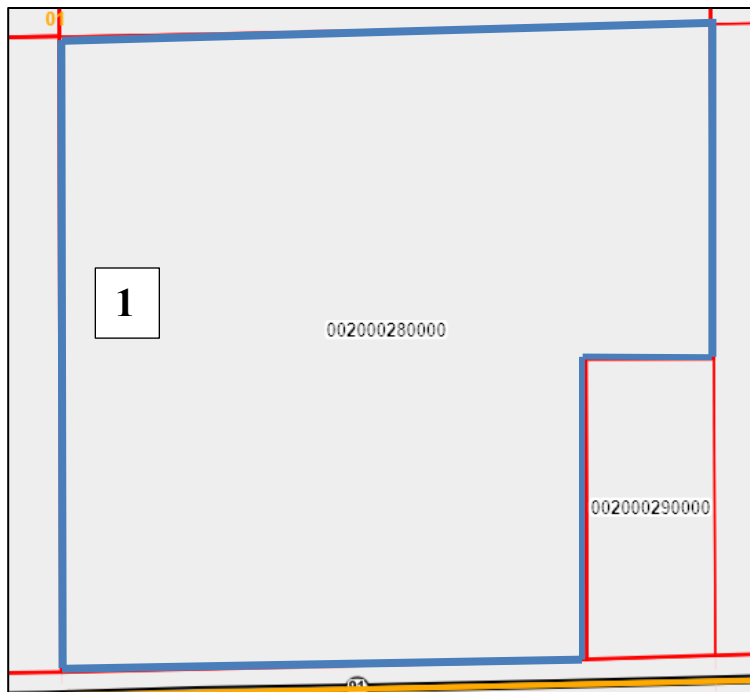
- Address
- Section
- TaxParcel
- QUARTER



Owner: Burton Werch Jr.
Town of Berlin Parcel #002-00028-0000
Part of the SE1/4 of Section 1, T17N, R13E

Existing Configuration

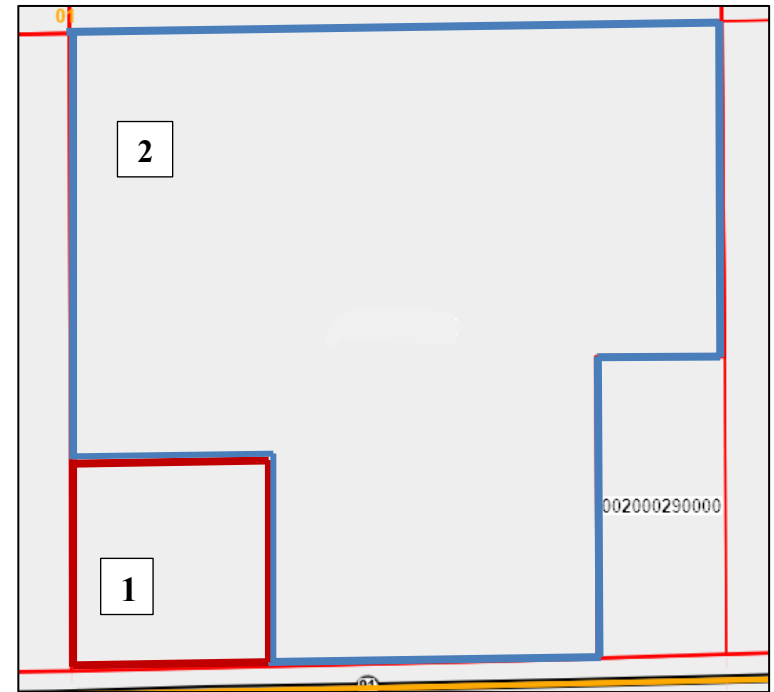
1 = ±34.78 acre parcel zoned A-1, Farmland Preservation District



Proposed Configuration

1 = ±3.1 acre parcel zoned R-4, Rural Residential District

2 = ±31.68 parcel zoned A-1, Farmland Preservation District



Land Use Planning & Zoning Public Hearing 01/05/2023

TOWN BOARD ACTION

Dear Land Use Planning and Zoning Committee:

Please be advised that the Town Board of Berlin, County of Green Lake, took the following action on –(Date)

_____.

Owner/Applicant: Burton Werch Jr.

Site Location: W284 State Road 91, Berlin

General legal description: Parcel 002-00028-0000 part of the SE1/4 of S1, T17N, R13E, Town of Berlin, ±36 acres

Request: Rezone ±3 acres from A1, Farmland Preservation to R-4, Rural residential District

Planned public hearing date for the above requests: January 5th, 2023

X **Town does not object to and approves of request**

_____ **No action taken**

_____ **Objects to and requests denial of request**

NOTE: If denial – please enclose Town Resolution of denial

- Reason(s) for objection:

Brenda Mueckley
Town Representative

11/21/2022
Date Signed

NOTES: _____

Please return this form to the Land Use Planning & Zoning Office by: **December 21, 2022**

Land Use Planning and Zoning Committee Staff Report

Public Hearing

January 5, 2023

Item II: Conditional Use Permit (CUP)

Owner:

MNJ Development LLC

Applicant:

Michael Monohan

Request: The owner/applicant is requesting a conditional use permit to operate a storage unit business by building a storage unit building.

Parcel Number/ Location: The request affects parcels 002-00850-0000 (±2.15 acres) and 002-00048-0300 (±1.55) acres. The parcels are in the SW ¼ of the SW ¼ of Section 2, T17N, R13E, Town of Berlin. The site is located north of Hwy 91 and west of Eastridge Dr.

Existing Zoning and Uses of Adjacent Area: The parcels referenced above are zoned C-2, Extensive Commercial District and combined make up ±3.7 acres. The property currently is undeveloped. Parcels to the east are zoned as C-2. The properties to the south are zoned as A-1 Farmland Preservation district. The property to the west is zoned as R-4, Rural Residential. To the north one property is in the City of Berlin and appears to be used for condos/apartments. The other property to the north is zoned R-3, Multiple Family Residence District and has had a new condo/apartment building constructed on the property.

Additional Information/Analysis: MNJ Development built and manages the condo/apartment units on the neighboring parcels to the north. Due to the proximity of their existing complex they are looking to build a storage unit building and operate a storage unit business. The new building would be 50'x240' in area and 24' tall. The building would consist of seventeen storage units each 13'x50' in area. The units would be available for customers to access 24/7.

It is important that the Committee maintain the purpose and intent of the County Zoning Ordinance when reviewing and approving a request of this nature. The following criteria are to be used by the Committee when making conditional use permit decisions:

General Standards for Review of Conditional Use Requests: When reviewing a conditional use permit, the Committee shall take into consideration, among other things, the recommendation of the affected town and the particular facts and circumstances of each proposed use in terms of the following:

- a) If an applicant meets or agrees to meet all of the requirements specified in this chapter and any conditions imposed by the Committee, based on substantial evidence, the Committee shall grant the conditional use permit.
- b) Any condition imposed must be related to the purpose of the ordinance and be based on substantial evidence.
- c) The requirements and conditions must be reasonable and, to the extent practicable, measurable, and may include conditions such as the permit's duration, transfer, or renewal.
- d) The applicant must demonstrate that the application and all requirements and conditions related to the conditional use, are or shall be satisfied, and supported by substantial evidence. The Committee's decision to approve or deny the conditional use permit must be supported by substantial evidence.

Substantial evidence is defined as: facts and information, other than merely personal preferences or speculation, directly pertaining to the requirements and conditions an applicant must meet to obtain a conditional use permit and that reasonable persons would accept in support of a conclusion.

- a) No conditional use permit shall be approved or approved with conditions by the Committee unless it shall find the conditional use: Will not have a negative effect upon the health, safety, and general welfare of occupants of surrounding lands; and
- b) Will be designed, constructed, operated, and maintained so as to be harmonious, be appropriate in appearance with the existing or intended character of the general vicinity, and that such use will not change the essential character of the same area; and
- c) Will not be hazardous or disturbing to existing or future neighboring uses; and
- d) Will not be detrimental to property in the immediate vicinity or to the community as a whole; and
- e) Will be served by essential public facilities and services such as highways, streets, police and fire protection, drainage structures, and schools; the persons or agencies responsible for the establishment of the proposed use shall be able to provide, adequately, any such service; and
- f) Will have vehicular approaches to the property that shall be so designed as not to create an interference with traffic on surrounding public or private streets or roads.

County Staff Comments: This request should be reviewed by the Committee to determine if it meets the general criteria for review as listed above. If the Committee wishes to approve this request, the following conditions may be appropriate:

1. No additional expansion or addition of structures and/or uses relating to this conditional use permit shall occur without review and approval through future conditional use permit(s).
2. No outside storage of materials and other items is allowed.
3. An "As-Built" certificate of survey shall be provided to the Land Use Planning & Zoning Department within one year of project completion. The certificate of survey shall show all existing buildings, building setback dimensions to lot lines, all access locations, electrical distribution equipment, easements, and any stormwater management appurtenances.
4. Any outdoor lighting shall comply with Section 350-23 of the County Zoning Ordinance.
5. Prior to construction both parcels must be combined into a single parcel through a CSM.
6. The applicant must obtain a Land Use Permit before any building construction starts.

Town of Berlin: The Town Board Action request for the Conditional Use Permit was sent to the Town Clerk on November 11, 2022. The Town Board does not object to and approves of the conditional use request.

Fee Received (Non-Refundable) 315.00

Date 10/27/22

By signing and submitting this completed application with public hearing fee, the applicant or agent requests the Land Use Planning & Zoning Committee consider the conditional use permit request at the next available public hearing.

PROPERTY OWNER / APPLICANT

Name MNJ Development LLC / MICHAEL MAIVOHAN
Mailing Address N 9357 EAST RIDGE DR. BERLIN WI 54923
Phone Number 920-573-3648 Email MNJDEVELOP@OUTLOOK.COM
Signature [Signature] Date 10/27/2022

AGENT IF OTHER THAN OWNER

Name _____
Mailing Address _____
Phone Number _____ Email _____
Signature _____ Date _____

PROPERTY INFORMATION

Town of BERLIN Location of Property _____
Section _____ Town _____ N Range _____ E
Affected Parcel Number(s) 002-00048-0300 Affected Acres _____
Subdivision _____ Lot _____ Block _____
CSM _____ Lot _____ or COS _____
Legal Description LOT 3 CERTIFIED SURVEY MAP 2936 V15

Current Zoning Classification C-2

Present Use of Property: (List all current uses and improvements, i.e. home, store, farm field, wooded, etc.)

VACANT LAND

PROPOSAL - Use separate or additional sheet(s) IF necessary

Describe **specifically** the nature of this request (List all proposed uses of the parcel.) What do you plan to do? _____

17 STALL STORAGE BUILDING

If this application is for a use that will be contained to a part of the parcel, specify the exact dimensions of the affected area. see blue print

☐ If this box is checked, provide the following information:

Proposed use has additional minimum development standards in Section _____.

Explain how your proposal meets or exceeds these requirements.

OPERATIONAL PLAN NARRATIVE

we construct this style of Building
we built 54 units in the area
want to build -

17 unit storage building, 13' x 50' x 16'

24/7

see site plan for location

no hazards

close to our existing complex



October 17, 2022

AARON HALBERG
HALBERG ENGINEERING LLC
10335N DUFFY RD
HAYWARD WI 54843

Identification Numbers
Application No.: DIS-102251575
Site ID No.: SIT-108505
Please refer to all identification numbers in each correspondence with the Department.

PERMISSION TO START CONSTRUCTION

MUNICIPALITY:
TOWN OF BERLIN
GREEN LAKE COUNTY

SITE:
MNJ DEVELOPMENTS
OFF EAST RIDGE DRIVE - LOT 3, WEST OF DMV
BERLIN WI 54923

FOR:
OFF EAST RIDGE DRIVE - LOT 3, WEST OF DMV

Object Type: Building
Building Name.: 50x240 Maxi Storage Bldg
Major Occupancy: S-1 - Storage Moderate-Hazard
Class of Construction: VB - Combustible Unprotected Construction
Building Review Type: New
Plan Type: Full/Complete Building
Total Floor Area in Sq Ft: 12,000
Sprinklered Type: None
Occupancy: None
Allowable Area Determined By:
Structural Components Included in Review: truss, roof

The Department of Safety and Professional Services has received construction plans for review for the subject project, submitted in accordance with the provisions of SPS 361.32, accompanied by the owner's request to begin construction work on the footings and foundations prior to departmental review and approval.

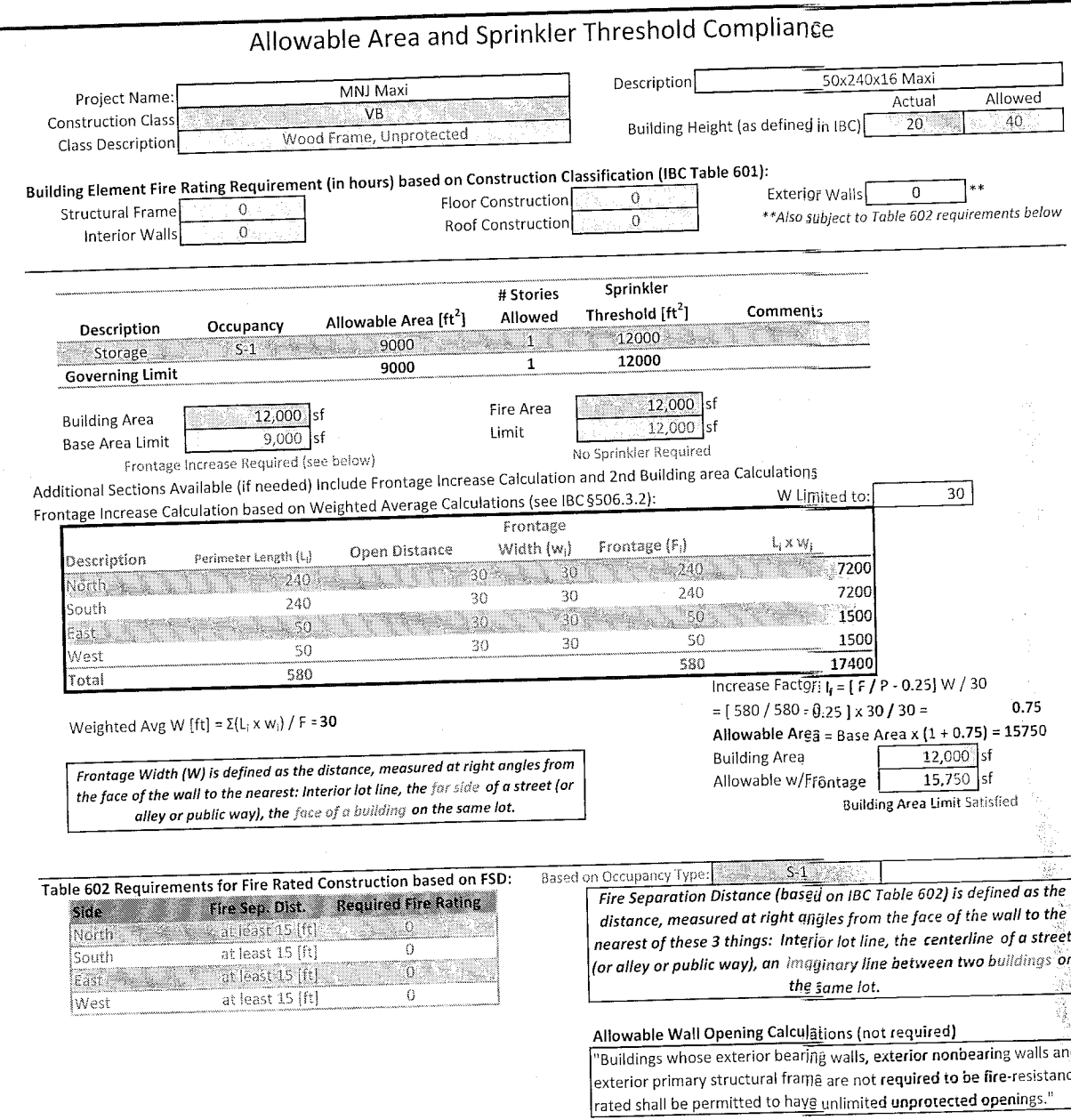
This letter will serve as the Department's permission to the local building officials to allow construction of the footings and foundations only, for the subject project prior to review and approval by this Department.

NO REVIEW OF THE SUBMITTED DOCUMENTS FOR CODE COMPLIANCE HAS BEEN UNDERTAKEN BY THE DEPARTMENT AT THIS TIME.

In accordance with the provisions of the owner's signed request to begin construction prior to departmental review and approval, the owner will be required to make any changes after the plans have been reviewed, and to remove or replace non-code complying parts of the foundations and/or footings.

Prior to the start of construction, all applicable building permits should be obtained from the local authorities having jurisdiction in accordance with local laws and ordinances. You are responsible for complying with state and federal laws concerning construction near or on wetlands, lakes, and streams. For more information, visit the Department of Natural Resources (DNR) Wetlands Identification web page or contact a DNR service center.






Roof Snow Loads to be used in Load Combinations for Truss and Building Design:			
1	1. Balanced Snow Load (P_s)	Over entire roof at once	30 psf
2	2. Is the Unbalanced Snow Load Analysis required for this project?		No
3	3. Unbalanced Snow Load Analysis Not Required	Windward Roof	Not psf
4	4. Unbalanced Snow Load Analysis Required	Leeward Roof	Reg II psf

Other Truss Design Information:			
Normal Truss Sealing		7.50	ft
SideWall Overhang at Eave		2.0	ft
Loads listed above:			
Roof Pitch (Inches per foot)		RI2	
Roof Surface	Other		(see ASCE 7, 67-4)
Ground Snow Load, P_g	1	55	psf
Snow Exposure Factor, C_e	1	1.0	(see ASCE 7, Table 7-3)
Thermal Condition Factor, C_t	1	1.0	(see ASCE 7, Table 7-3)
Snow Load Importance Factor, I_s	1	1.0	(see ASCE 7, Table 7-4)
Flat Roof Snow, $P_s = 0.7 \cdot C_e \cdot C_t \cdot I_s \cdot P_g$		29.4	psf
Slope Sfactor, C_s		1.000	(see ASCE 7, 67-4)
Half Roof Width (Ridge to Eave), W		27.0	ft
Building Length, L		244.0	ft
Snow Density, γ		18.6	pcf

Project Information to determine snow loads listed above:

ASCE 7-10, Table 7.2.1, 7.2.2, 7.2.3, 7.2.4, 7.2.5, 7.2.6, 7.2.7, 7.2.8, 7.2.9, 7.2.10, 7.2.11, 7.2.12, 7.2.13, 7.2.14, 7.2.15, 7.2.16, 7.2.17, 7.2.18, 7.2.19, 7.2.20, 7.2.21, 7.2.22, 7.2.23, 7.2.24, 7.2.25, 7.2.26, 7.2.27, 7.2.28, 7.2.29, 7.2.30, 7.2.31, 7.2.32, 7.2.33, 7.2.34, 7.2.35, 7.2.36, 7.2.37, 7.2.38, 7.2.39, 7.2.40, 7.2.41, 7.2.42, 7.2.43, 7.2.44, 7.2.45, 7.2.46, 7.2.47, 7.2.48, 7.2.49, 7.2.50, 7.2.51, 7.2.52, 7.2.53, 7.2.54, 7.2.55, 7.2.56, 7.2.57, 7.2.58, 7.2.59, 7.2.60, 7.2.61, 7.2.62, 7.2.63, 7.2.64, 7.2.65, 7.2.66, 7.2.67, 7.2.68, 7.2.69, 7.2.70, 7.2.71, 7.2.72, 7.2.73, 7.2.74, 7.2.75, 7.2.76, 7.2.77, 7.2.78, 7.2.79, 7.2.80, 7.2.81, 7.2.82, 7.2.83, 7.2.84, 7.2.85, 7.2.86, 7.2.87, 7.2.88, 7.2.89, 7.2.90, 7.2.91, 7.2.92, 7.2.93, 7.2.94, 7.2.95, 7.2.96, 7.2.97, 7.2.98, 7.2.99, 7.3.1, 7.3.2, 7.3.3, 7.3.4, 7.3.5, 7.3.6, 7.3.7, 7.3.8, 7.3.9, 7.3.10, 7.3.11, 7.3.12, 7.3.13, 7.3.14, 7.3.15, 7.3.16, 7.3.17, 7.3.18, 7.3.19, 7.3.20, 7.3.21, 7.3.22, 7.3.23, 7.3.24, 7.3.25, 7.3.26, 7.3.27, 7.3.28, 7.3.29, 7.3.30, 7.3.31, 7.3.32, 7.3.33, 7.3.34, 7.3.35, 7.3.36, 7.3.37, 7.3.38, 7.3.39, 7.3.40, 7.3.41, 7.3.42, 7.3.43, 7.3.44, 7.3.45, 7.3.46, 7.3.47, 7.3.48, 7.3.49, 7.3.50, 7.3.51, 7.3.52, 7.3.53, 7.3.54, 7.3.55, 7.3.56, 7.3.57, 7.3.58, 7.3.59, 7.3.60, 7.3.61, 7.3.62, 7.3.63, 7.3.64, 7.3.65, 7.3.66, 7.3.67, 7.3.68, 7.3.69, 7.3.70, 7.3.71, 7.3.72, 7.3.73, 7.3.74, 7.3.75, 7.3.76, 7.3.77, 7.3.78, 7.3.79, 7.3.80, 7.3.81, 7.3.82, 7.3.83, 7.3.84, 7.3.85, 7.3.86, 7.3.87, 7.3.88, 7.3.89, 7.3.90, 7.3.91, 7.3.92, 7.3.93, 7.3.94, 7.3.95, 7.3.96, 7.3.97, 7.3.98, 7.3.99, 7.4.1, 7.4.2, 7.4.3, 7.4.4, 7.4.5, 7.4.6, 7.4.7, 7.4.8, 7.4.9, 7.4.10, 7.4.11, 7.4.12, 7.4.13, 7.4.14, 7.4.15, 7.4.16, 7.4.17, 7.4.18, 7.4.19, 7.4.20, 7.4.21, 7.4.22, 7.4.23, 7.4.24, 7.4.25, 7.4.26, 7.4.27, 7.4.28, 7.4.29, 7.4.30, 7.4.31, 7.4.32, 7.4.33, 7.4.34, 7.4.35, 7.4.36, 7.4.37, 7.4.38, 7.4.39, 7.4.40, 7.4.41, 7.4.42, 7.4.43, 7.4.44, 7.4.45, 7.4.46, 7.4.47, 7.4.48, 7.4.49, 7.4.50, 7.4.51, 7.4.52, 7.4.53, 7.4.54, 7.4.55, 7.4.56, 7.4.57, 7.4.58, 7.4.59, 7.4.60, 7.4.61, 7.4.62, 7.4.63, 7.4.64, 7.4.65, 7.4.66, 7.4.67, 7.4.68, 7.4.69, 7.4.70, 7.4.71, 7.4.72, 7.4.73, 7.4.74, 7.4.75, 7.4.76, 7.4.77, 7.4.78, 7.4.79, 7.4.80, 7.4.81, 7.4.82, 7.4.83, 7.4.84, 7.4.85, 7.4.86, 7.4.87, 7.4.88, 7.4.89, 7.4.90, 7.4.91, 7.4.92, 7.4.93, 7.4.94, 7.4.95, 7.4.96, 7.4.97, 7.4.98, 7.4.99, 7.5.1, 7.5.2, 7.5.3, 7.5.4, 7.5.5, 7.5.6, 7.5.7, 7.5.8, 7.5.9, 7.5.10, 7.5.11, 7.5.12, 7.5.13, 7.5.14, 7.5.15, 7.5.16, 7.5.17, 7.5.18, 7.5.19, 7.5.20, 7.5.21, 7.5.22, 7.5.23, 7.5.24, 7.5.25, 7.5.26, 7.5.27, 7.5.28, 7.5.29, 7.5.30, 7.5.31, 7.5.32, 7.5.33, 7.5.34, 7.5.35, 7.5.36, 7.5.37, 7.5.38, 7.5.39, 7.5.40, 7.5.41, 7.5.42, 7.5.43, 7.5.44, 7.5.45, 7.5.46, 7.5.47, 7.5.48, 7.5.49, 7.5.50, 7.5.51, 7.5.52, 7.5.53, 7.5.54, 7.5.55, 7.5.56, 7.5.57, 7.5.58, 7.5.59, 7.5.60, 7.5.61, 7.5.62, 7.5.63, 7.5.64, 7.5.65, 7.5.66, 7.5.67, 7.5.68, 7.5.69, 7.5.70, 7.5.71, 7.5.72, 7.5.73, 7.5.74, 7.5.75, 7.5.76, 7.5.77, 7.5.78, 7.5.79, 7.5.80, 7.5.81, 7.5.82, 7.5.83, 7.5.84, 7.5.85, 7.5.86, 7.5.87, 7.5.88, 7.5.89, 7.5.90, 7.5.91, 7.5.92, 7.5.93, 7.5.94, 7.5.95, 7.5.96, 7.5

Design Focus	Project-specific comments	Project Values
General Information:	Risk Category = <i>Normal Occupied Building</i>	II
Concrete Compressive Strength (f'_c) =	28 day minimum strength	3500 psi
Roof Head Loads:	TC Dead Top Chord Dead Load	4.0 psf
	BC Dead Bottom Chord Dead Load	4.0 psf
#103.1.3 Roof Snow Load Data:		
Ground Snow Load (P_g) =	<i>Meets or exceeds ASCE 7 value</i>	35.0 psf
Snow Exposure Factor (C_{se}) =		1.0
Snow Load Importance Factor (I_s) =	<i>Based on Risk Category above</i>	1.0
Thermal Factor (C_t) =		1.2
Flat Roof Snow Load (P_f) =	$0.7 \times C_{se} \times I_s \times C_t \times P_g$	29.4 psf
Sloped Roof Snow Load (C_d) =	<i>Slippery assumption may be invalid</i>	1.0
Balanced Roof Snow Load (P_s) =	$S_b \times C_d \times P_f$ (or greater)	30.0 psf
Unbalanced Roof Snow Load =	<i>(Windward / Leeward)</i>	Not Required
	<i>See Detailed Snow Load Sheet for more details</i>	
#103.1.4 Wind Design Data:		
Basic Wind Speed =	<i>ASCE 7-10 design is Strength / Ultimate</i>	115 mph
Wind Exposure =	<i>Presumed to apply in All Directions</i>	
Building Enclosure Type =		Enclosed
Internal Pressure Based on Enclosure Type (q_p/GC_{pi}) =		± 4.7
Maximum C&C Pressure in Roof Zones 1 / 2 / 3 (q_{u3}/GC_{pf}) =		-23.4 / -44.2 / -67.6 psf
Maximum C&C Pressure in Wall Zones 4 / 5 (q_{u5}/GC_{pw}) =		-23.4 / -36.4 psf
#103.1.5 Earthquake Design Data:		
Seismic Response Factor: R_s =	<i>Based on Risk Category above</i>	1.0
Mapped spectral response parameters: M_s Max Value for Zip Code		8.3
		$S_1 = 3.7\%$
	Site Class = <i>Presumed in absence of soils test</i>	$S_s = 0.7\%$
Design Spectral Coefficients: $S_{m1} = (2/3) \times F_s \times S_1$		$S_{m1} = 8.3\%$
		$S_{m1} = 5.9\%$
		$S_{m1} = A$
Seismic Design Category =		
Basic Seismic Force-Resisting System =	A15 - Light-frame walls with shear panels	
Seismic Response Coefficient =		$C_s = 0.044$
Response Modification Coefficient =	<i>(6.5 weight to OK for wood frame)</i>	$R = 2$
Effective Seismic Weight =	Dead Load \times Area	$W = 108,000 \text{ lbs}$
Design Base Shear =	$V = C_s \times W$	$V = 4,781 \text{ lbs}$
Analysis Procedure Used =		Equivalent Lateral Force Procedure
#103.1.6 Geotechnical Information:		
Class of Soil Materials =	<i>Presumed in absence of soils test</i>	
Allowable Soil Pressure =		2000 psf



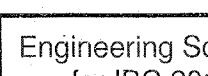
**HALBERG
ENGINEERING LLC**

Specializing in Engineering for Post-Frame Buildings

HALBERG ENGINEERING LLC
10333N DUFF ROAD
HAYWARD WI 54643

DESIGN PROFESSIONAL:

Engineering Scope: Building Design
for IBC 2015 / SPS 361/362
Compliance



Aaron J. Halberg, PE
866-694-8602
aaron@halbergengineering.com

[illegible]

NOTES & DETAILS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER THESE GENERAL NOTES. ALL MATERIALS AND WORK PERFORMED SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST EDITION OF THE WISCONSIN ADMINISTRATIVE CODE INCLUDING LOCAL ORDINANCES AND AMENDMENTS. ALL MATERIAL SHALL BE FURNISHED AS SHOWN HEREIN UNLESS THE OWNER OR ENGINEER APPROVES EQUAL ALTERNATIVES.

NO CHANGES ARE TO BE MADE TO THESE PLANS WITHOUT THE KNOWLEDGE AND WRITTEN CONSENT OF THE ENGINEER.

THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE AND DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, INCLUDING, BUT NOT LIMITED TO BRACING AND SHORING. OBSERVATION VISITS TO THE SITE BY THE ENGINEER AND/OR THE ENGINEER'S REPRESENTATIVE(S) SHALL NOT INCLUDE INSPECTION OF THE PROTECTIVE MEASURES OR THE CONSTRUCTION PROCEDURES.

ALL WORK GOVERNED BY STATE AND LOCAL CODES, ORDINANCES,
AND REGULATIONS WHEREVER THEY MAY APPLY. DESIGNERS
LIABILITY TO THE PREPARATION OF THE DRAWINGS WITH THE
PARAMETERS CONTRACTED, AND ASCERTAINING CODE COMPLIANCE

EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR MUST CHECK ALL STRUCTURAL DETAILS AND DIMENSIONS, AND BE RESPONSIBLE FOR THE SAME.

THIS DRAWING AND ITS COPIES ARE THE COPYRIGHT OF THE
DESIGN PROFESSIONAL, AND MAY NOT BE USED FOR PROJECTS OTHER
THAN THE DESIGNATED PROJECT WITHOUT THE SPECIFIC WRITTEN
CONSENT OF HALBERG ENGINEERING, LLC

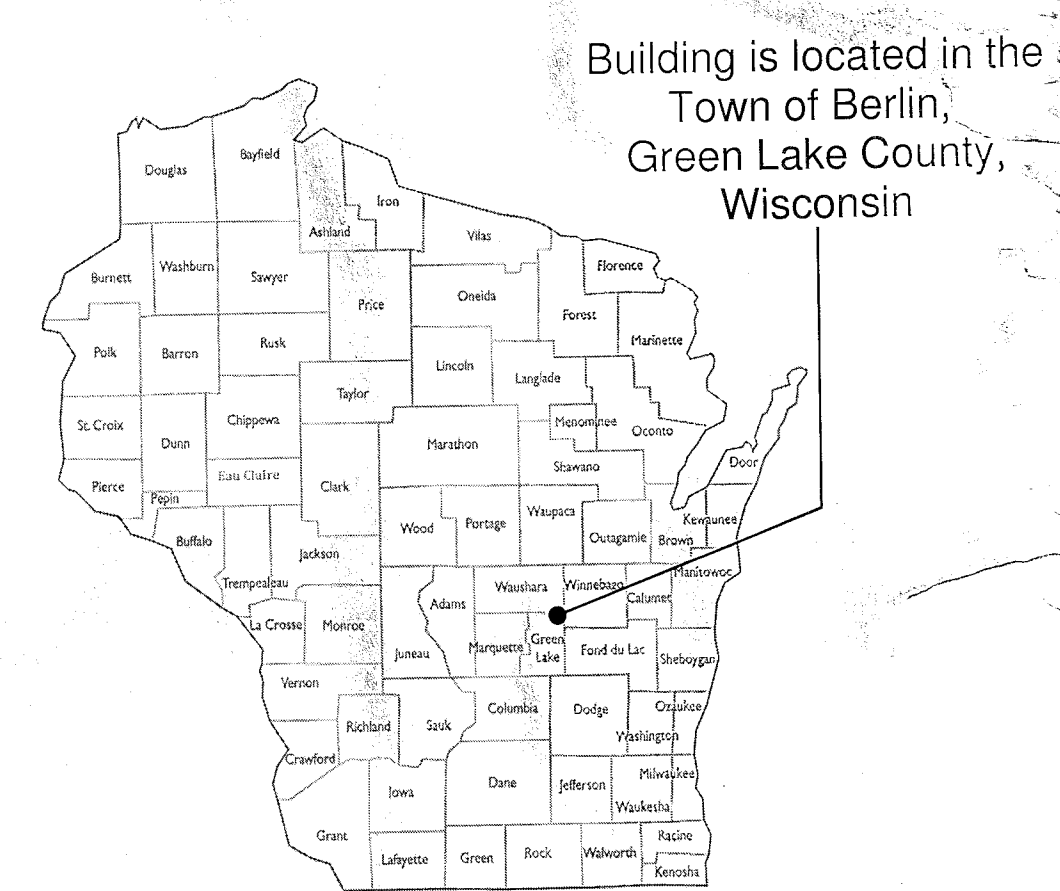
PROVIDE FIRE EXTINGUISHERS PER IFC 906. FIRE EXTINGUISHERS SHALL BE SELECTED, INSTALLED AND MAINTAINED IN ACCORDANCE WITH IFC 906 AND NFPA 10.¹⁰

HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERABLE PARTS ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE HARDWARE SHALL BE PLACED AT LEAST 34 INCHES, BUT NOT MORE THAN 48 INCHES ABOVE THE FLOOR SURFACE.

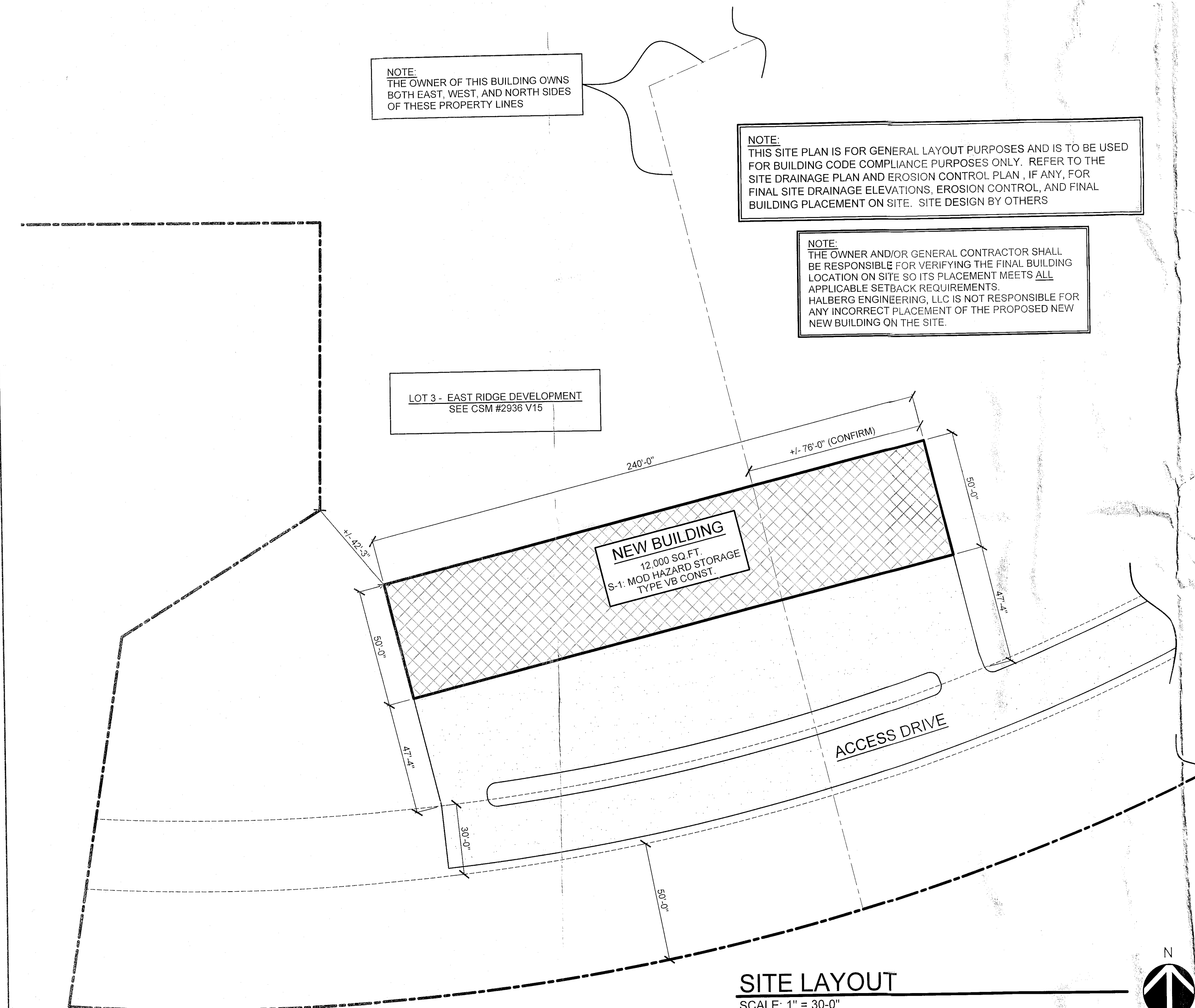
DOORS
THERE SHALL BE A FLOOR OR LANDING PROVIDED ON EACH SIDE OF THE DOOR. SUCH FLOOR OR LANDING TO BE AT THE SAME ELEVATION ON EACH SIDE OF DOOR

GENERAL TRUSS INSTALLATION NOTES:
TRUSSES REQUIRE EXTREME CARE IN FABRICATING, HANDLING, SHIPPING, INSTALLING, AND BRACING. REFER TO, AND FOLLOW, THE LATEST EDITION OF BCSI (BUILDING COMPONENT SAFETY INFORMATION, BY "ITI" AND "SBCA") FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. INSTALLERS SHALL PROVIDE TEMPORARY BRACING PER BCSI, UNLESS NOTED OTHERWISE. TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL SHEATHING AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING. LOCATIONS SHOWN FOR PERMANENT LATERAL RESTRAINT OF WEDS SHALL HAVE BRACING INSTALLED PER BCSI SECTIONS B3, B7, OR B10, AS APPLICABLE.

****A COPY OF THE STATE APPROVED PLANS AND APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT, WHICH MAY INCLUDE LOCAL INSPECTORS. ALL PERMITS REQUIRED BY THE STATE OR LOCAL MUNICIPALITY SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF CONSTRUCTION / INSTALLATION / OPERATION.**

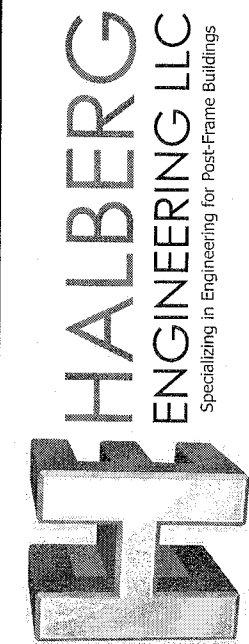


Building is located in the
Town of Berlin,
Green Lake County,
Wisconsin



Engineering Scope: Building Design
for IBC 2015 / SPS 361/362
compliance
AARON J. HALBERG
34982
HAYWARD, WI
PROFESSIONAL ENGINEER
October 17, 2022
ENGINEER'S SEAL

NOTE:
THESE DRAWINGS HAVE BEEN MADE
IN PREPARATION OF THESE PLANS AND CHECKING
THESE PLANS FOR ACCURACY AND BE RESPONSIBLE FOR
THE QUALITY OF THE CONSTRUCTION. THE CONTRACTOR
MUST CHECK ALL DIMENSIONS
AND MATERIALS AGAINST THE STATE AND LOCAL
CODES AND OTHER CODE REQUIREMENTS.



PROJECT:
NEW MAXI STORAGE BUILDING
MNJ DEVELOPMENT, LLC
TOWN OF BERLIN, WI

SITE INFORMATION:
NAME: MNJ DEVELOPMENT, LLC
ADDRESS: LOT 3 EAST RIDGE DEV.; CSM 2938V15
CITY, STATE, ZIP: BERLIN, WI 54923
COUNTY: GREEN LAKE COUNTY

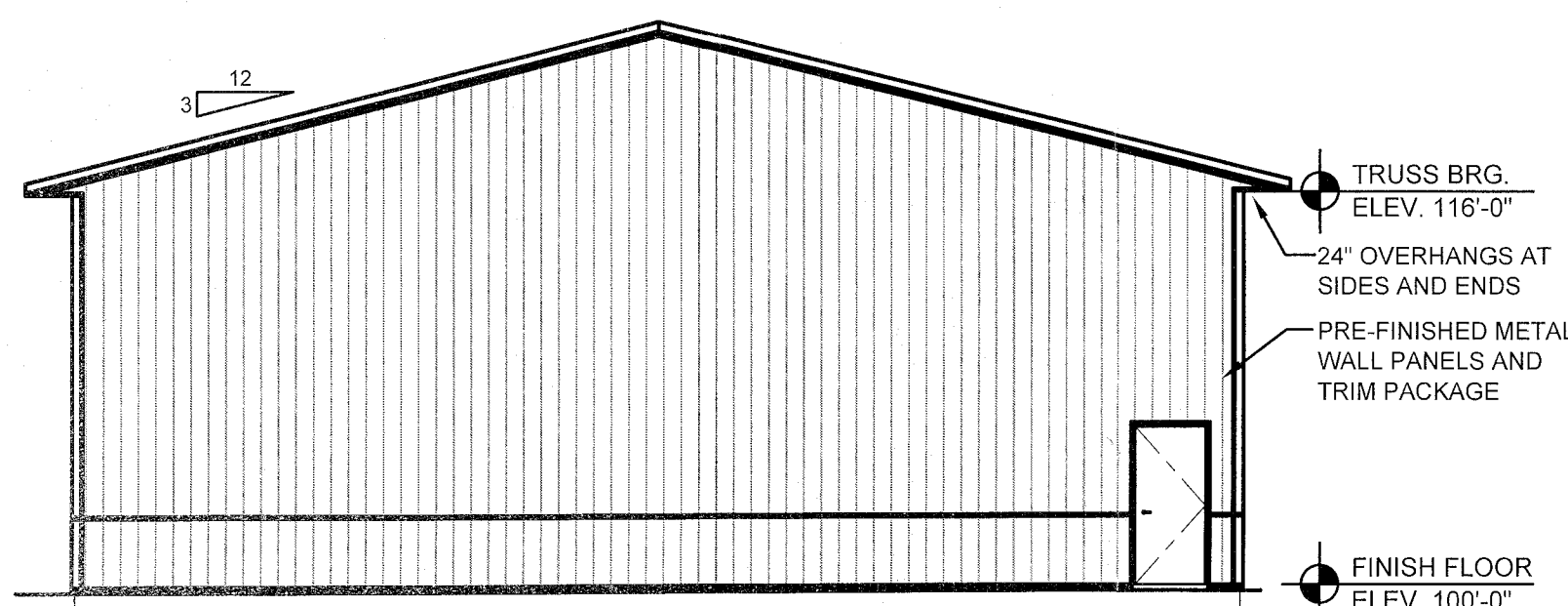
REVISIONS		DATE	DESCRIPTION	BY
	10/17/22	PRELIMINARY DRAWINGS FOR REVIEW	BVL	
	10/17/22	ISSUED FOR STATE PLAN APPROVAL	AJH	

DRAWN BY: BVL
DATE DRAWN: OCT. 17, 2022
PROJECT MANAGER: JAMES SOLLOWAY
JOB NUMBER: 22A59

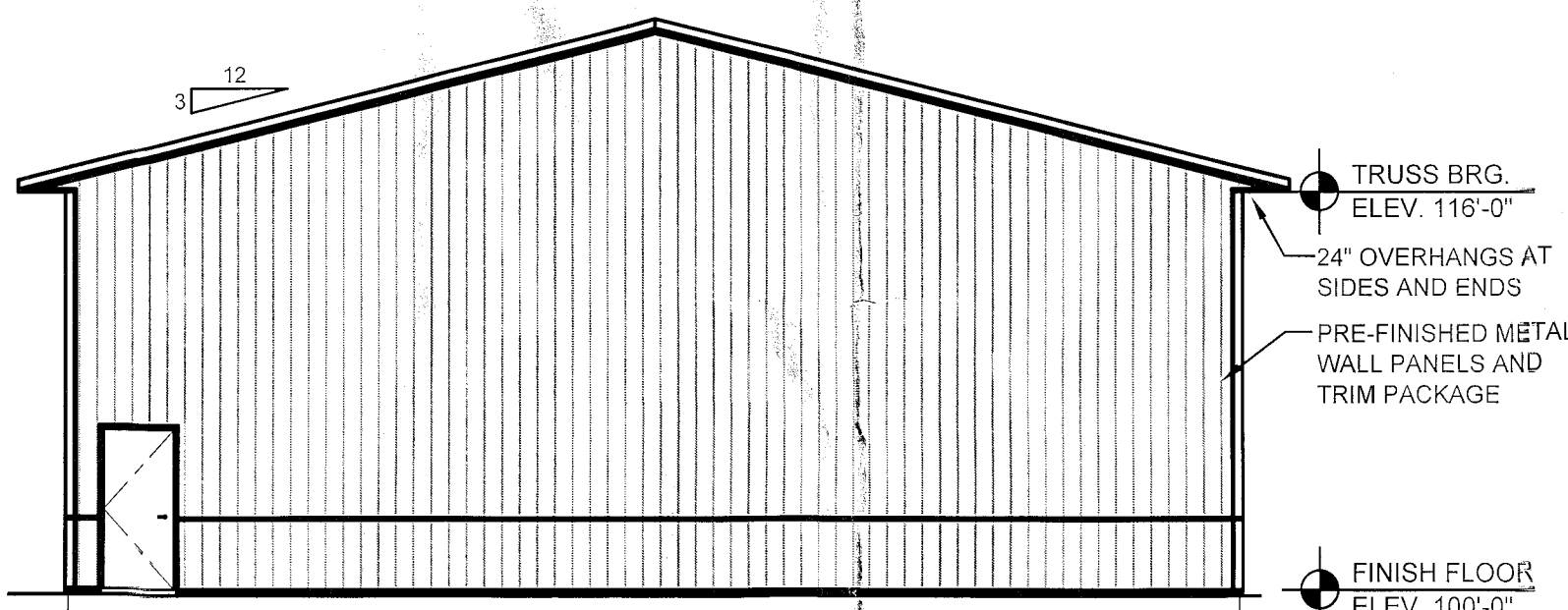
25
SHEET OF



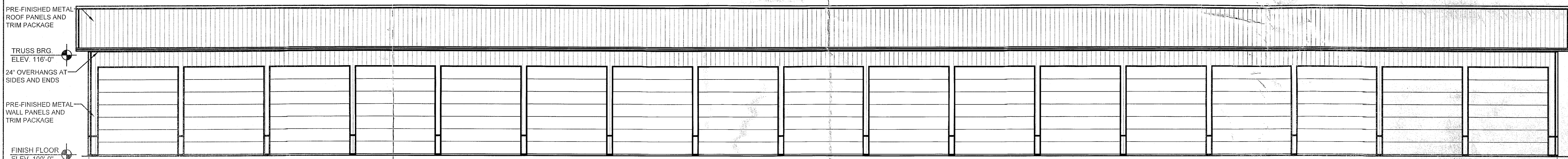
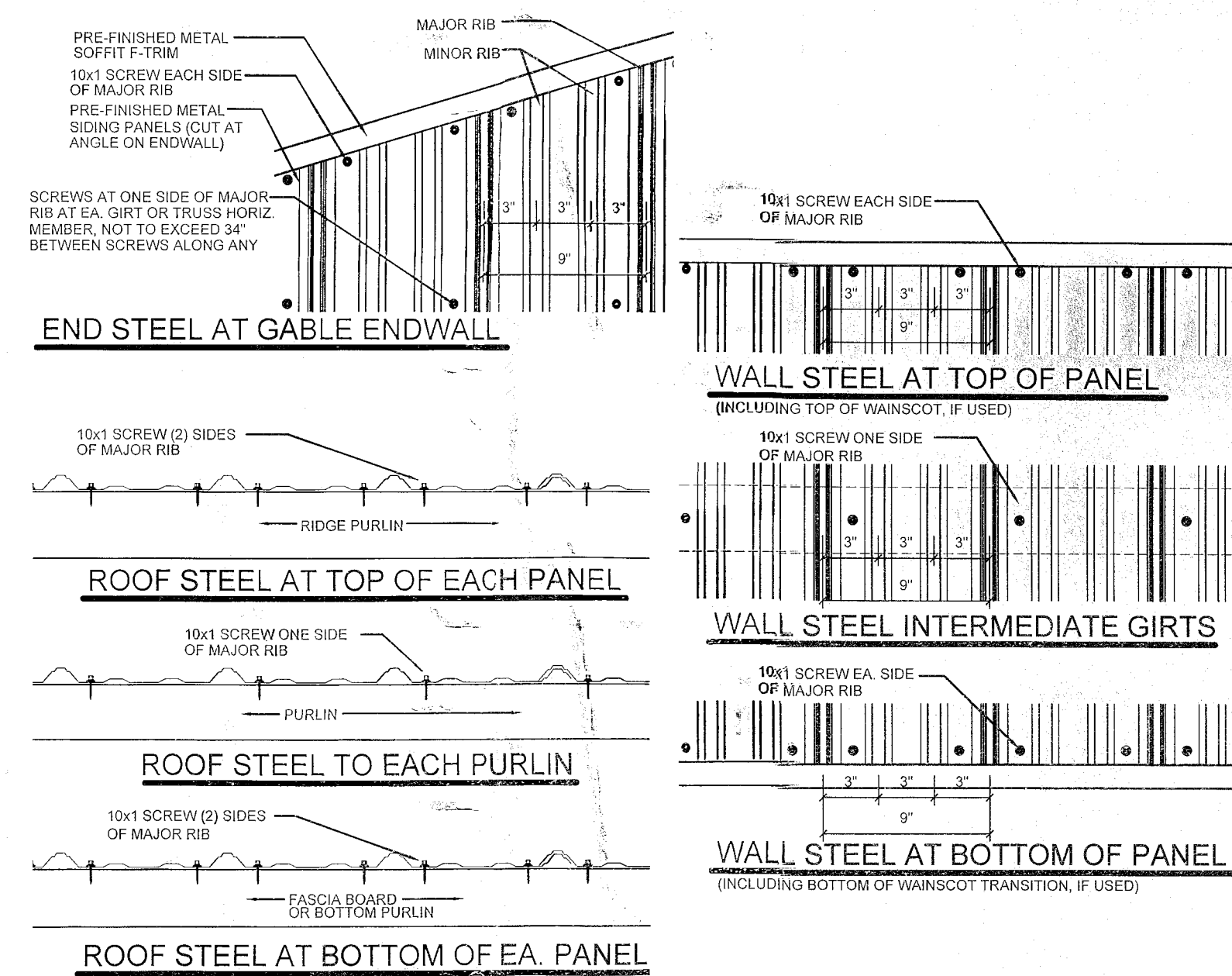
NORTH ELEVATION
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"



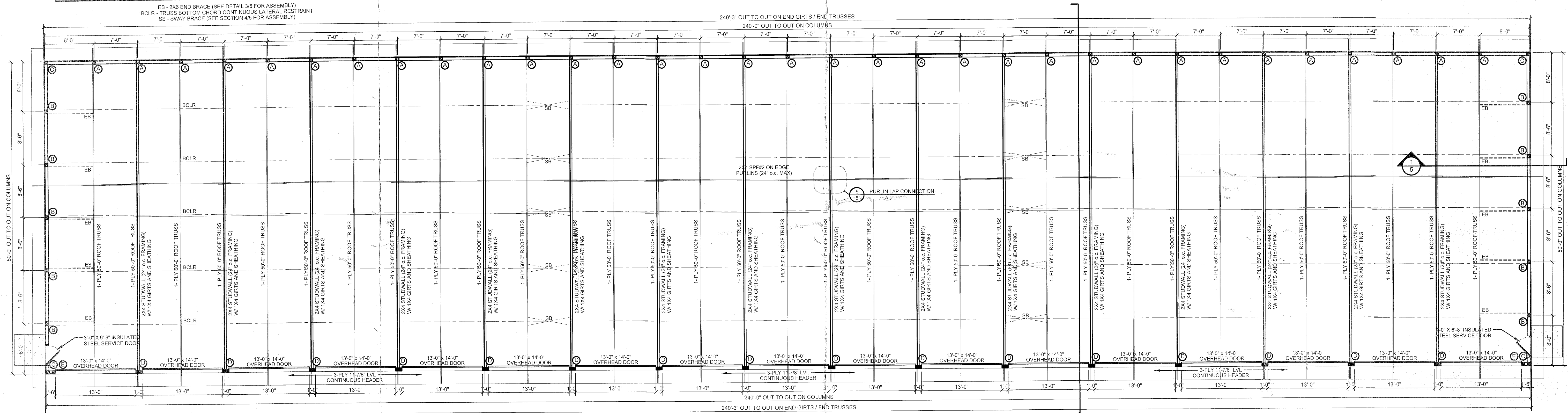
EAST ELEVATION
SCALE: 1/8" = 1'-0"



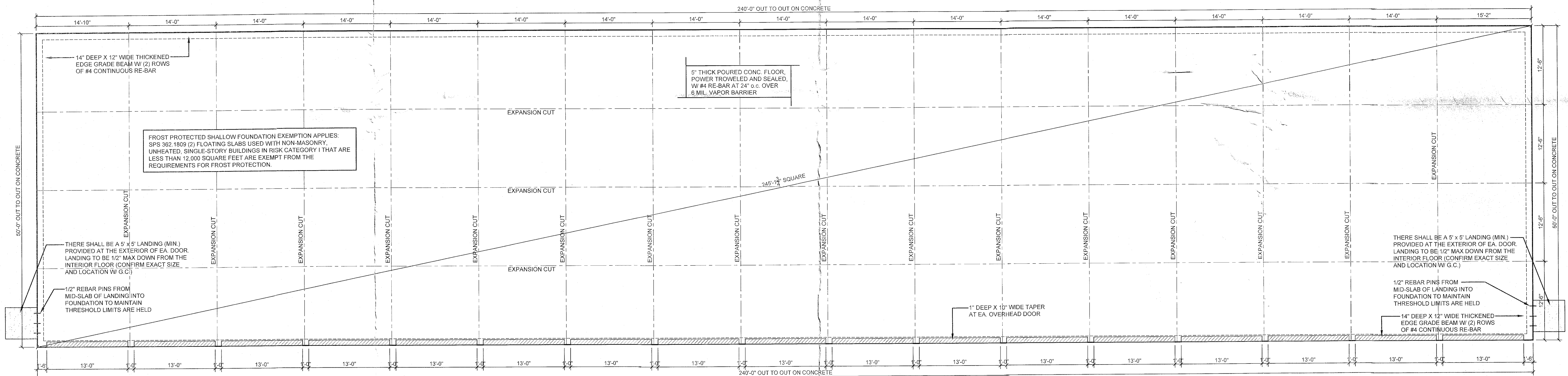
SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

COLUMN SCHEDULE					
ID	SIZE	COLUMN TYPE	LOCATION	COLUMN TO CONC. CONNECTION	NOTES
A	4-PLY 2X6 (SPF42 or BETTER)	NAIL LAMINATED COLUMNS PER EP559 SPECIFICATIONS	SIDEWALL AND FIRE BARRIER COLUMNS	SEE DETAIL 1	COLUMN SPECIES AND GRADE: SPF42 OR BETTER. ALL COLUMNS TO BE SET ON 2X6 TRITTO 3/4" DIA. BELT PLATE W/ 1X4 GRTS AND SHEATHING. FIELD APPLIED JAMBS FOR THE 1" COLUMNS IS TO COVER THE "TUCKED UNDER" BRACKET.
B	3-PLY 2X6 (SPF42 or BETTER)	NAIL LAMINATED COLUMNS PER EP559 SPECIFICATIONS	ENDWALL COLUMNS	SEE DETAIL 2	
C	3-PLY 2X6 (SPF42 or BETTER)	NAIL LAMINATED COLUMNS PER EP559 SPECIFICATIONS	CORNER COLUMNS	SEE DETAIL 3	
D	6-PLY 2X6 (SPF42 or BETTER) W/ FIELD APPLIED JAMB TO EA. SIDE	NAIL LAMINATED COLUMNS PER EP559 SPECIFICATIONS	BETWEEN OH DOORS	SEE DETAIL 4	
E	4-PLY 2X6 (SPF42 or BETTER)	NAIL LAMINATED COLUMNS PER EP559 SPECIFICATIONS	OH DOOR COLUMN	SEE DETAIL 5	

EB - 2X6 END BRACE (SEE DETAIL 3/5 FOR ASSEMBLY)
BCLR - TRUSS BOTTOM CHORD CONTINUOUS LATERAL RESTRAINT
SB - SWAY BRACE (SEE SECTION 4/5 FOR ASSEMBLY)



FLOOR PLAN
SCALE: 1/8" = 1'-0"



CONCRETE PLAN
SCALE: 1/8" = 1'-0"

Engineering Scope: Building Design
for IBC 2015 / SPS 361/362
compliance
AARON J. HALBERG
34392
HAYWARD, WIS.
October 17, 2022
ENGINEER'S SEAL

NOTE:
AN INDEPENDENT EFFORT HAS BEEN MADE
IN PREPARING THESE PLANS AND CHECKING
OR SUBCONTRACTOR MUST CHECK ALL DIMENSIONS
ON THE SAME. ALL SUBCONTRACTORS SHALL COMPLETE
LOCAL AND OTHER CODE REQUIREMENTS.

HALBERG
ENGINEERING LLC
Specializing in Engineering for Post-Frame Buildings

PROJECT:
NEW MAXI STORAGE BUILDING
MNJ DEVELOPMENT, LLC
TOWN OF BERLIN, WI

SITE INFORMATION:
NAME: MNJ DEVELOPMENT, LLC
ADDRESS: LOT 3 EAST RIDGE DEV. CSM 2636V15
CITY: BERLIN, WI 54923
COUNTY: GREEN LAKE COUNTY

REVISIONS
DATE DESCRIPTION BY
10/22/22 PRELIMINARY DRAWINGS FOR REVIEW BVL
10/17/22 ISSUED FOR STATE PLAN APPROVAL AJH
PROJECT MANAGER: JAMES SILLOWAY
JOB NUMBER: 22A59

3
SHEET OF 5

TOWN BOARD ACTION

Dear Land Use Planning and Zoning Committee:

Please be advised that the Town Board of Berlin, County of Green Lake, took the following action on –(Date)

_____.

Owner/Applicant: MNJ Development LLC

Agent: Michael Monohan

Site Location: Eastridge Drive, Berlin

General legal description: Parcel 002-00048-0300 part of the SW1/4 of S2, T17N, R13E, Town of Berlin, ±1.55 acres

Request: Conditional Use Permit for a 17-stall storage building

Planned public hearing date for the above requests: January 5th, 2023

 X **Town does not object to and approves of request**

 No action taken

 Objects to and requests denial of request

NOTE: If denial – please enclose Town Resolution of denial

- Reason(s) for objection:

Brenda Muehley
Town Representative

11/21/2022
Date Signed

NOTES: _____

Please return this form to the Land Use Planning & Zoning Office by: December 21, 2022